



A meeting of the **DEVELOPMENT MANAGEMENT COMMITTEE** will be held in **THE CIVIC SUITE (LANCASTER/STIRLING ROOMS), PATHFINDER HOUSE, ST MARY'S STREET, HUNTINGDON, PE29 3TN** on **MONDAY, 22 APRIL 2024** at **6:30 PM** and you are requested to attend for the transaction of the following business:-

AGENDA

PLEASE NOTE THE ORDER OF THE AGENDA MAY CHANGE

APOLOGIES

1. MINUTES (Pages 5 - 8)

To approve as a correct record the Minutes of the meeting held on 18th March 2024.

2. MEMBERS' INTERESTS

To receive from Members declarations as to disclosable pecuniary, other registerable and non-registerable interests in relation to any Agenda item. See Notes below.

3. APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

To consider reports by the Planning Service Manager (Development Management).

(a) Offord Cluny and Offord Darcy - 24/00089/CLPD (Pages 9 - 22)

Insertion of 2 no rooflights to south facing roof slope of existing single-storey rear projection; revised fenestration to south facing elevation of existing single storey rear projection; proposed single-storey rear extension partly replacing existing single-storey lean to wood store (part of original dwellinghouse) - 73 High Street, Offord Darcy St Neots PE19 5RH.

(b) St Neots - 22/01977/FUL (Pages 23 - 50)

Erection of 4 town houses (two pairs of semi detached dwellings) Re siting of vehicular access - Elm Lodge, Potton Road, Eynesbury,

4. DEVELOPMENT MANAGEMENT - SECTION 106 AGREEMENTS

To consider reports by the Planning Service Manager (Development Management).

(a) Stukeleys, Woodwalton, St Ives, Huntingdon, Alconbury Weston, Alconbury and Abbots Ripton - 19/01320/S73 Runs With 19/01341/OUT / 19/01341/OUT Runs With 19/01320/S73 (Pages 51 - 146)

Variation of conditions 1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 18, 20, 24, 26 and 28 for application 1201158OUT - Amended wording (see covering letter, appendix 1) and Key Phase Submission - KP2 - The Country Park (Hybrid Element), Alconbury Weald, Ermine Street, Little Stukeley.

Outline planning permission (all matters reserved) for a mixed-use phased development to include - residential development of up to 1,500 dwellings (C2 and C3), local centre including retail and community facilities (A1-A5 and D1), open space, play areas, recreation facilities, landscaping, associated demolition, ground works and infrastructure - Grange Farm, Alconbury Weald, Ermine St, Little Stukeley.

(b) St Neots - 22/01594/OUT (Pages 147 - 228)

Outline application including matters of access, appearance, layout and scale (landscaping reserved for future consideration) for 26 dwellings - Land at Riversfield, Great North Road, Little Paxton.

5. APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

To consider reports by the Planning Service Manager (Development Management).

(a) Spaldwick - 23/01948/FUL (Pages 229 - 312)

Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL) - Land East of Ivy Way Spaldwick.

(b) St Ives - 23/01699/FUL (Pages 313 - 340)

Conversion of existing church parish hall to 3 residential units (Use Class C3) - The Church Hall Ramsey Road St Ives PE27 5BZ.

(c) Yaxley - 24/00242/FUL (Pages 341 - 360)

Garage conversion to create Beauty Salon (Change of Use) - 36 Shackleton Way, Yaxley, PE7 3AB.

6. APPEAL DECISIONS (Pages 361 - 362)

To consider a report by the Planning Service Manager (Development Management).

LATE REPRESENTATIONS

10 day of April 2024

Michelle Sacks

Chief Executive and Head of Paid Service

Disclosable Pecuniary Interests and other Registrable and Non-Registrable Interests

Further information on [Disclosable Pecuniary Interests and other Registrable and Non-Registrable Interests is available in the Council's Constitution](#)

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Please contact Anthony Roberts, Democratic Services, Tel: 01480 388015 / email Anthony.Roberts@huntingdonshire.gov.uk if you have a general query on any Agenda Item, wish to tender your apologies for absence from the meeting, or would like information on any decision taken by the Committee.

Specific enquiries with regard to items on the Agenda should be directed towards the Contact Officer.

Members of the public are welcome to attend this meeting as observers except during consideration of confidential or exempt items of business.

Agenda and enclosures can be viewed on the [District Council's website](#).

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HUNTINGDONSHIRE DISTRICT COUNCIL

MINUTES of the meeting of the DEVELOPMENT MANAGEMENT COMMITTEE held in THE CIVIC SUITE (LANCASTER/STIRLING ROOMS), PATHFINDER HOUSE, ST MARY'S STREET, HUNTINGDON, PE29 3TN on Monday, 18th March 2024

PRESENT: Councillor D L Mickelburgh – Chair.

Councillors R J Brereton, E R Butler, S J Corney,
K P Gulson, M A Hassall, P A Jordan, S R McAdam,
T D Sanderson, R A Slade, C H Tevlin and S Wakeford.

APOLOGIES: Apologies for absence from the meeting were submitted on behalf of Councillors D B Dew, I D Gardener, S Mokbul and J Neish.

53 MINUTES

The Minutes of the meeting of the Committee held on 19th February 2024 were approved as a correct record and signed by the Chair.

54 MEMBERS' INTERESTS

Councillor D Mickelburgh declared an Other Registrable Interest or Non-Registrable Interest in Minute No 55 (b) by virtue of the fact that the application related to the Ward she represented.

55 APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

The Planning Service Manager (Development Management) submitted reports (copies of which are appended in the Minute Book) on applications for development to be determined by the Committee. Members were advised of further representations, which had been received since the reports had been prepared. Whereupon, it was

RESOLVED

a) **Construction of 4 No Dwellinghouses and Alterations to Existing Vehicular Access - Land Adjacent 26 West Perry, Perry - 23/01981/FUL**

(J Duberly, applicant, addressed the Committee on the application).

that the application be refused for the following reasons:

- a). By virtue of poor design and the proposed two storey height, the proposed development would not contribute positively to the character and identity of the area and would not successfully integrate with adjoining buildings, the routes and spaces between buildings, topography and landscape, contrary to Policies LP11 and LP12 parts a and b of the Huntingdonshire

Local Plan to 2036, the placemaking principles set out in Chapter 3 of the HDC Design Guide SPD 2017 and paragraph 130 parts a - d of the NPPF 2023. The proposal would therefore have an unacceptable effect on the character of the immediate locality and the settlement as whole, contrary to criterion (c) of Policy LP9 Huntingdonshire Local Plan. Subsequently, the principle of development is not supported.

- b). The proposed development, and in particular Unit 4, by reason of its close siting would detrimentally intrude upon the setting of the Grade II Listed Buildings known as Tree Top Cottage to the east and No.29 West Perry to the south, conflicting with the character of the Listed Building and with the relationship which this Listed Building has with the Listed Building at Number 29 and the wider group of nearby historic buildings. As a result, the proposal would result in less than substantial harm to the setting of the Grade II Listed Buildings and therefore fails to preserve the setting of historic interest which it possesses. Whilst the identified harm is considered to be less than substantial there would be no public benefits derived from the provision of a single market dwelling to outweigh this harm. Furthermore, no Heritage Statement has been submitted as part of the application to allow the Local Planning Authority to assess any convincing justification of the proposals impact to a designated heritage asset. The proposal therefore fails to comply with Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Paragraphs 195-214 of the National Planning Policy Framework 2023 and Policies LP2 and LP34 of Huntingdonshire's Local Plan to 2036. The proposal would therefore have an unacceptable effect on the character of the immediate locality and the settlement as whole, contrary to criterion (c) of Policy LP9 Huntingdonshire Local Plan. Subsequently, the principle of development is not supported.
- c). Plot 1 would have a blank side elevation at first floor which would be approximately 10.4 metres from the rear elevation of the existing dwelling at No.26 West Perry. Due to the siting of Plot 1 and the insufficient separation distance, Plot 1 would result in a significant overbearing impact to the rear garden and rear elevation of No 26. The proposal would therefore be contrary to Policy LP14 of the adopted Huntingdonshire Local Plan to 2036.

b) Change of use to equine use and grazing for personal use – Retrospective - Offord Meadow, Station Lane, Offord Cluny - 23/01135/FUL

(Councillor S Conboy, Ward Member, addressed the Committee on the application).

See Minute No. 54 for Members' interests.

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted together with additional conditions relating to fencing and to the removal of any existing structures on site that are not subject to this planning application the precise wording of which the Planning Service Manager (Development Management) is hereby authorised to finalise.

56 APPEAL DECISIONS

The Committee received and noted a report by the Planning Service Manager (Development Management), which contained details of two recent decisions by the Planning Inspectorate. A copy of the report is appended in the Minute Book.

RESOLVED

that the contents of the report be noted.

Chair

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DEVELOPMENT MANAGEMENT COMMITTEE 22nd April 2024

Case No: 24/00089/CLPD (CERTIFICATE OF LAWFUL PERMITTED DEVELOPMENT APPLICATION)

Proposal: Insertion of 2 no rooflights to south facing roof slope of existing single-storey rear projection; revised fenestration to south facing elevation of existing single storey rear projection; proposed single-storey rear extension partly replacing existing single-storey lean to wood store (part of original dwellinghouse)

Location: 73 HIGH STREET, OFFORD DARCY, ST NEOTS PE19 5RH

Applicant: Mr and Mrs Johnson

Grid Ref: 521914 266454

Date of Registration: 18.01.2024

Parish: OFFORD CLUNY AND OFFORD DARCY

RECOMMENDATION – GRANT

This application is referred to the Development Management Committee (DMC), in accordance with the current Scheme of Delegation as the application is submitted by a member of the Council's staff who is involved in the planning or development process.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The dwelling is a two-storey semi-detached dwellinghouse within the built-up area of Offord Darcy. The main dwelling is made up of a two-storey building facing west towards the High Street with a single storey east projection to the rear including a substantial wood store. The dwelling has undergone a two storey rear extension to the rear of the main building unrelated to the single storey projection.
- 1.2 The application seeks a Lawful Development Certificate for a single storey rear extension, revised fenestration and insertion of 2 roof lights to the existing single storey rear projection.
- 1.3 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area including reviews of historically held records.

2. NATIONAL GUIDANCE

- 2.1 The Town and Country Planning Act 1990
- 2.2 The Town and Country Planning (General Permitted Development) (England) Order 2015 (As Amended)

3. PLANNING HISTORY

- 3.1 76/00779/FUL - Erection Of Garage And Driveway - 30.07.1976
- 3.2 90/01091/FUL - Extension to dwelling - 24.08.1990
- 3.3 0000400FUL - Extension and alterations to garage to form music/hobbies room - 17.04.2000

4. CONSULTATIONS

- 4.1 No consultations carried out due to application for Certificate of Lawful Permitted Development.

5. REPRESENTATIONS

- 5.1 No objections received at time of writing this report.

6. ASSESSMENT

- 6.1 The main issues to consider in the determination of this application are whether the proposed development complies within the criteria and conditions set by The Town and Country Planning (General Permitted Development) (England) Order 2015 (As Amended)) to determine whether the proposals are 'permitted development' or would require an application to be submitted for planning permission.

Rooflights

- 6.2 The application seeks to install two roof lights into the existing single storey rear projection South elevation, which faces into the rear garden of the host dwelling.
- 6.3 Schedule 2 - Part 1 - Class C of The Town and Country Planning (General Permitted Development) (England) Order 2015 (As Amended) permits other alterations to the roof of a dwellinghouse subject to certain criteria set out within the Order.
- 6.4 Schedule 2 - Part 1 - Class C of The Town and Country Planning (General Permitted Development) (England) Order 2015 (As Amended) sets certain tests that must be satisfied in order for the development to be permitted as set out below;

a) The dwellinghouse was not granted by virtue of Class G, M, MA, N, P, PA or Q of Part 3

b) The proposed development would not result in any protrusion of more than 0.15 metres beyond the plane of the slope of the original roof when measured from the perpendicular with the external surface of the original roof;

c) The height of the proposed development would not exceed the highest part of the roof of the existing roof

or

(d) consist of or include—

(i) the installation, alteration or replacement of a chimney, flue or soil and vent pipe, or

(ii) the installation, alteration or replacement of solar photovoltaics or solar thermal equipment.

6.5 The proposed development meets the tests layout in paragraph 6.4.

6.6 Development under Schedule 2 - Part 1 - Class C of The Town and Country Planning (General Permitted Development) (England) Order 2015 (As Amended) are subject to conditions set out below;

Development is permitted by Class C subject to the condition that any window located on the roof slope forming a side elevation of the dwellinghouse must be –

a) obscure glazed; and

b) non opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.

6.7 In the lifetime of the application the applicant has confirmed in writing that the rooflights will be obscurely glazed. In all other respects the proposed development meets the conditions laid out in paragraph 6.5.

6.8 Therefore, the proposed development of roof lights to the side elevations of the existing single storey rear projection as shown in plan reference “20231090/7A, 20231090/8B, 20231090/9B and 20231090/10A” would fall within the definition and conditions attached to Schedule 2 - Part 1 - Class C.

Fenestration Alterations and Single Storey Rear Extension

- 6.9 On the southern elevation of the existing single storey rear projection the application seeks to relocate the existing rear door to the east, partially block the opening and install a casement window and brick up an existing window.
- 6.10 On the eastern elevation of the existing single storey rear projection the application seeks to partially remove a small wood store and replace with a single storey rear extension of 1.98 metres from the back wall of the wood store, 3.1 metres in width and 2.95 metres in height to the ridge of a dual pitched roof.
- 6.11 The materials proposed are to match that of the existing dwelling as far as practicable.
- 6.12 Schedule 2 – Part 1 - Class A of The Town and Country Planning (General Permitted Development) (England) Order 2015 (As Amended) permits alterations to a dwellinghouse subject to certain criteria set out within the Order.
- 6.13 Schedule 2 - Part 1 - Class A of The Town and Country Planning (General Permitted Development) (England) Order 2015 (As Amended) sets certain tests that must be satisfied in order for the development to be permitted as set out below;
- a) The dwellinghouse was not granted permission under Class G,M,N,P or Q of Part 3 of this schedule (Changes of Uses)
 - b) The resultant works proposed in plan references would not exceed 50% of the total area of the curtilage of the dwelling house (excluding the area of the original dwellinghouse)
 - c) The height of the proposed development would not exceed the highest part of the roof of the existing dwellinghouse
 - d) The height of the eaves of the proposed development would not exceed the eaves of the existing dwellinghouse
 - e) The proposed development would not extend beyond a wall which forms the principal elevation, does not front a highway and form a side elevation of the original dwellinghouse
 - f) The proposed development would have a single storey and would not extend beyond the rear wall of the original dwellinghouse by more than 3 metres and the maximum height does not exceed 4 meters in height
 - g) The proposed development consists of a single storey and would not extend beyond the rear wall of the original

dwellinghouse by more than 6 metres and the maximum height does not exceed 4 meters in height

h) The proposed development consists of a single storey

i) The proposed development would be within 2 metres of the boundary of the curtilage of the dwellinghouse, however the eaves height would not exceed 3 metres.

j) The proposed development would not extend beyond the wall forming a side elevation of the original house and exceed 4 metres in height or have more than one storey or have a greater width than half the original dwelling.

ja) the total enlargement (being the enlarged part together with any existing enlargement of the original dwellinghouse to which it will be joined) would not exceed the limits set out in subparagraphs (e) to (j)

k) The development does not consist of or include the construction or provision of a verandah, balcony or raised platform, the installation, alteration or replacement of a microwave antenna, the installation, alteration or replacement of a chimney, flue or soil and vent pipe, or an alteration to any part of the roof of the dwellinghouse.

l) the dwellinghouse is not built under Part 20 of this schedule (Construction of New dwellinghouses)

6.14 The proposed development meets tests a-e and g-i layout in paragraph 6.13.

6.15 In terms of test (f) the plans submitted for the proposed development, indicate that the proposed rear extension will extend beyond the rear elevation of the original dwellinghouse by 1.98 metres, as the proposal replaces 1.2 metres of the wood store to the rear of the host dwelling.

6.16 The council holds no information concerning the rear projection of the main building and therefore treats the substantial building projecting to the rear and wood store as the rear wall of the original building.

6.17 Development under Schedule 2 - Part 1 - Class A of The Town and Country Planning (General Permitted Development) (England) Order 2015 (As Amended) are subject to conditions set out below;

a) the materials used in any exterior work (other than materials used in the construction of a conservatory) must be of similar appearance to those used in the construction of the exterior of the existing dwellinghouse;

- b) any upper floor window located in a wall or roof slope forming a side elevation of the dwellinghouse must be –
- i) obscure glazed, and
 - ii) non opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed; and
- c) where the enlarged part of the dwellinghouse has more than a single storey, the roof pitch of the enlarged part must, in so far as practicable, be the same as the roof pitch of the original dwellinghouse.

6.18 In all respects the proposed development meets the conditions laid out in paragraph 6.17.

6.19 Therefore, the proposed development of fenestration changes and single storey rear extension as shown in plan reference “20231090/7A, 20231090/8B, 20231090/9B and 20231090/10A” would fall within the definition and conditions attached to Schedule 2 - Part 1 - Class A.

Conclusion

6.20 Overall, the development is considered to be permitted within the meaning of Classes A and C of Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015 (amended).

6.21 It is therefore recommended that Huntingdonshire District Council grant a certificate of lawful permitted development in respect of the Insertion of 2 no rooflights to south facing roof slope of existing single-storey rear projection; revised fenestration to south facing elevation of existing single storey rear projection; proposed single-storey rear extension partly replacing existing single-storey lean to wood store (part of original dwellinghouse) for 73 High Street, Offord Darcy subject to the condition that any materials used in exterior work shall be of similar appearance to those used in the construction of the existing dwellinghouse.

8. RECOMMENDATION – GRANT subject to conditions to include the following

- any materials used in exterior work shall be of similar appearance to those used in the construction of the existing dwellinghouse.

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CONTACT OFFICER:

Enquiries about this report to **Andrea Dollard - Development
Management Officer** Andrea.Dollard@huntingdonshire.gov.uk

Development Management Committee



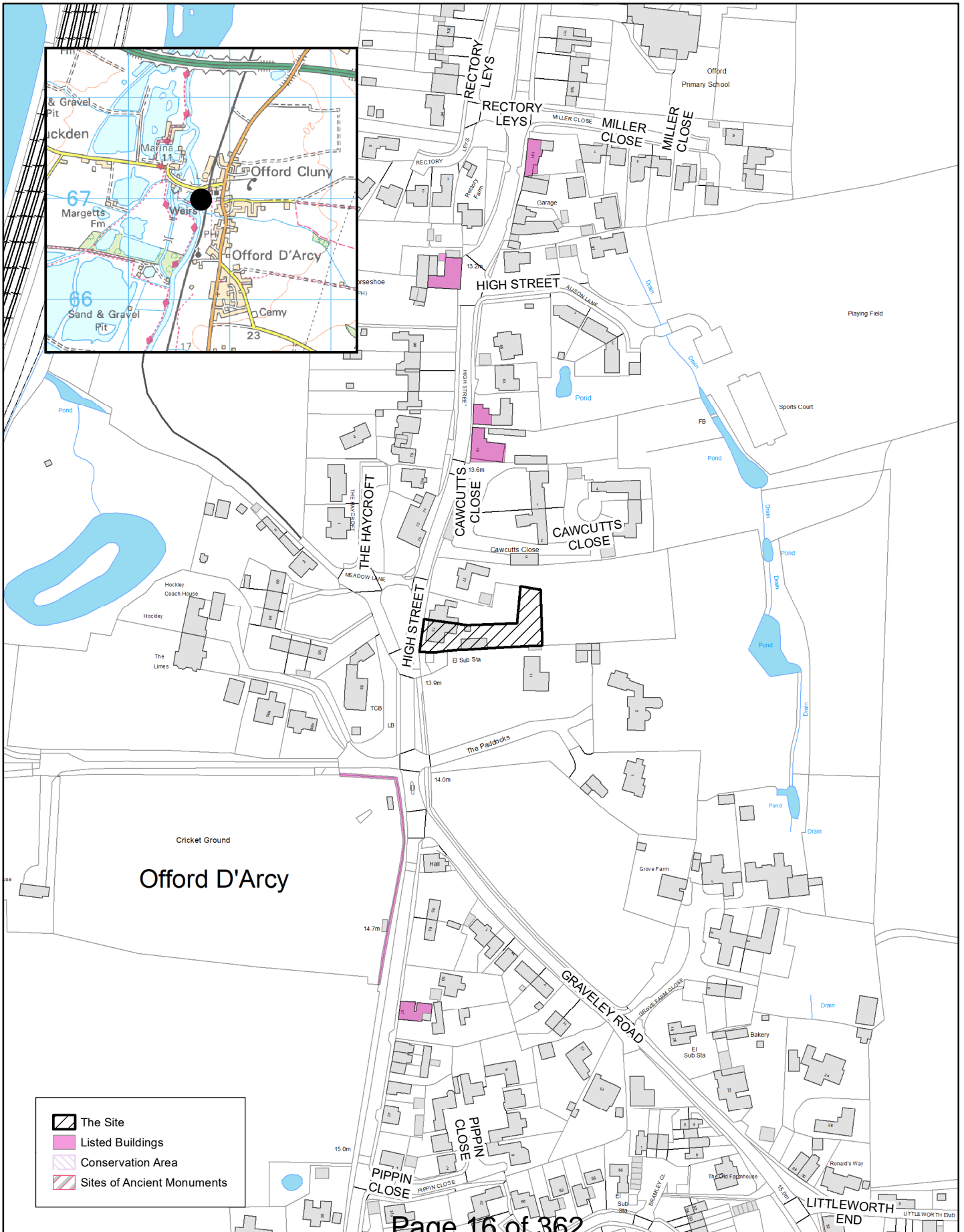
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Application Ref:24/00089/CLPD

Date Created: 09/04/2024

Location: The Offords

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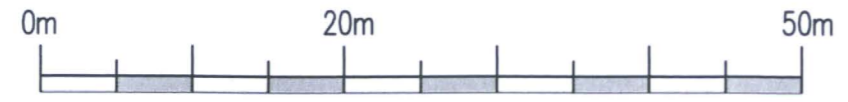
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1:1250 Scale

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Scale: 1: 500/1250@A3	Drawing Title: SITE LOCATION PLAN.
Date: DEC 2023	Project Title: MR & MRS JOHNSON, 73 HIGH STREET, OFFORD D'ARCY.
Drwg number: 20231090/1	Revision: —

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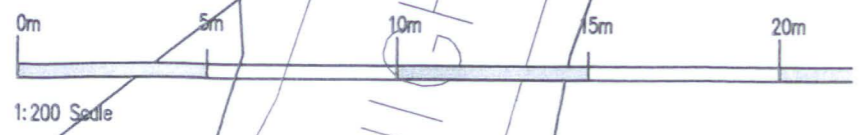
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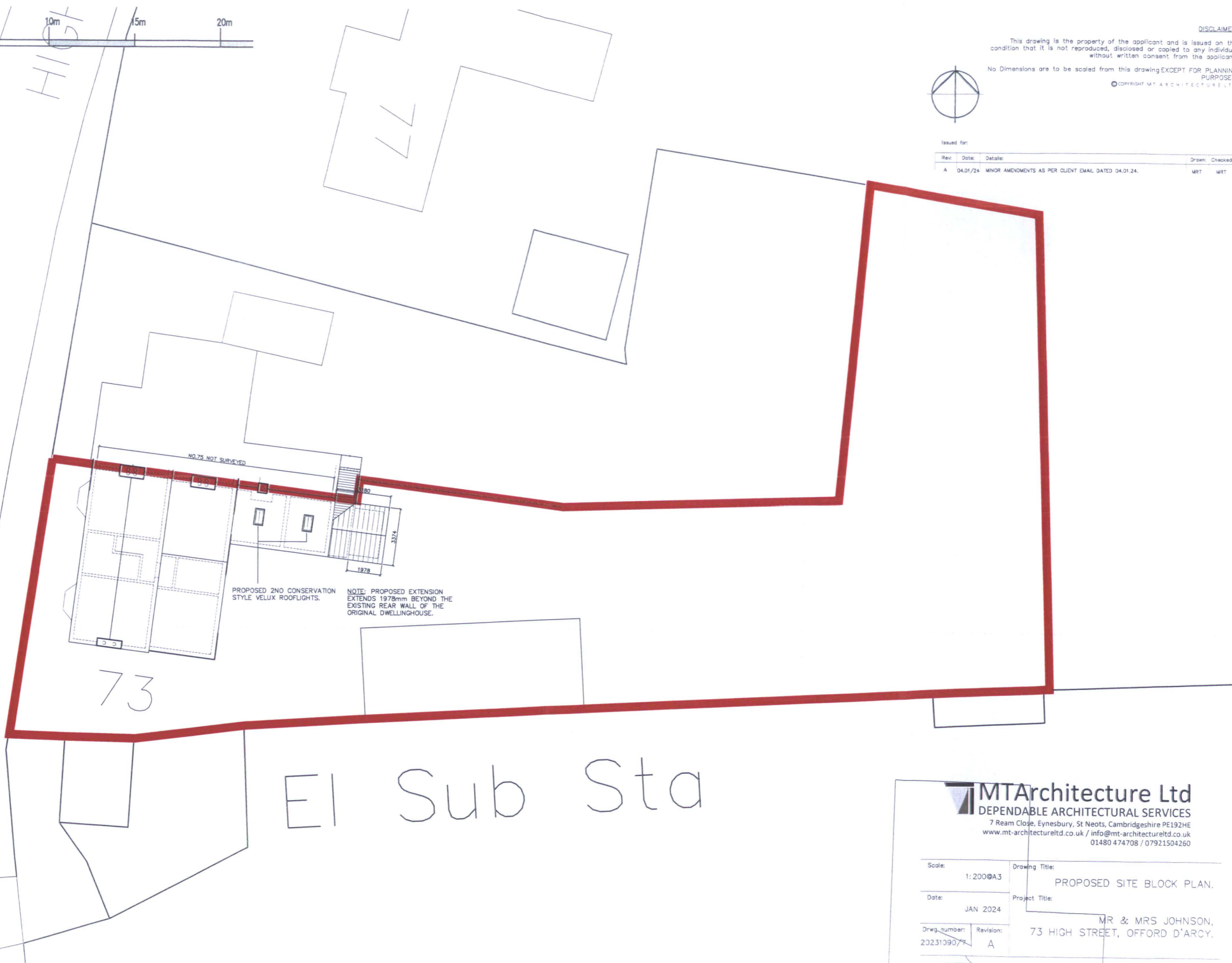
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A	04.01/24	MINOR AMENDMENTS AS PER CLIENT EMAIL DATED 04.01.24.	MRT	MRT



HIGH STREET

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Scale:	1:200@A3	Drawing Title:	PROPOSED SITE BLOCK PLAN.
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Drwg. number:	20231090/77	Revision:	A



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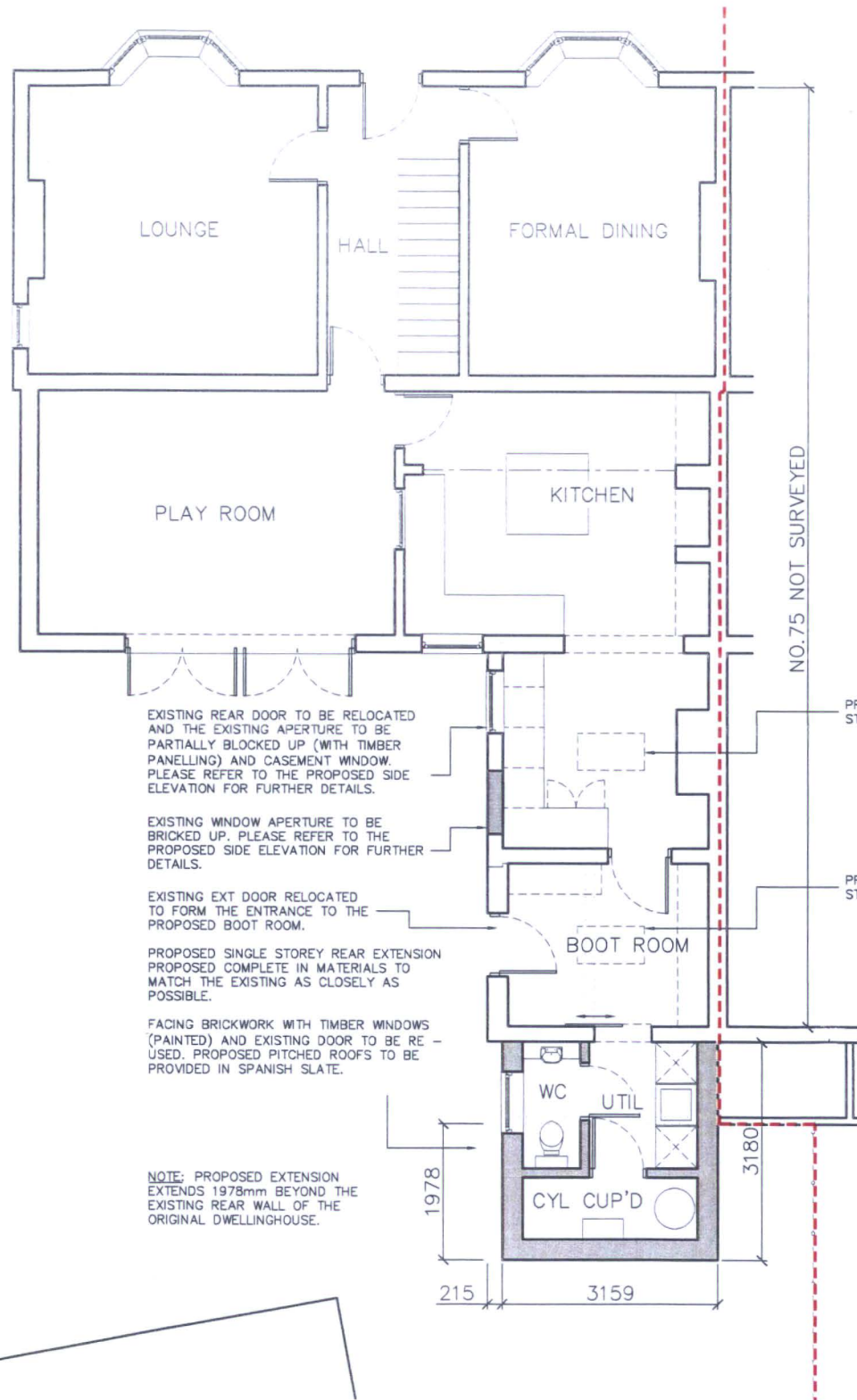
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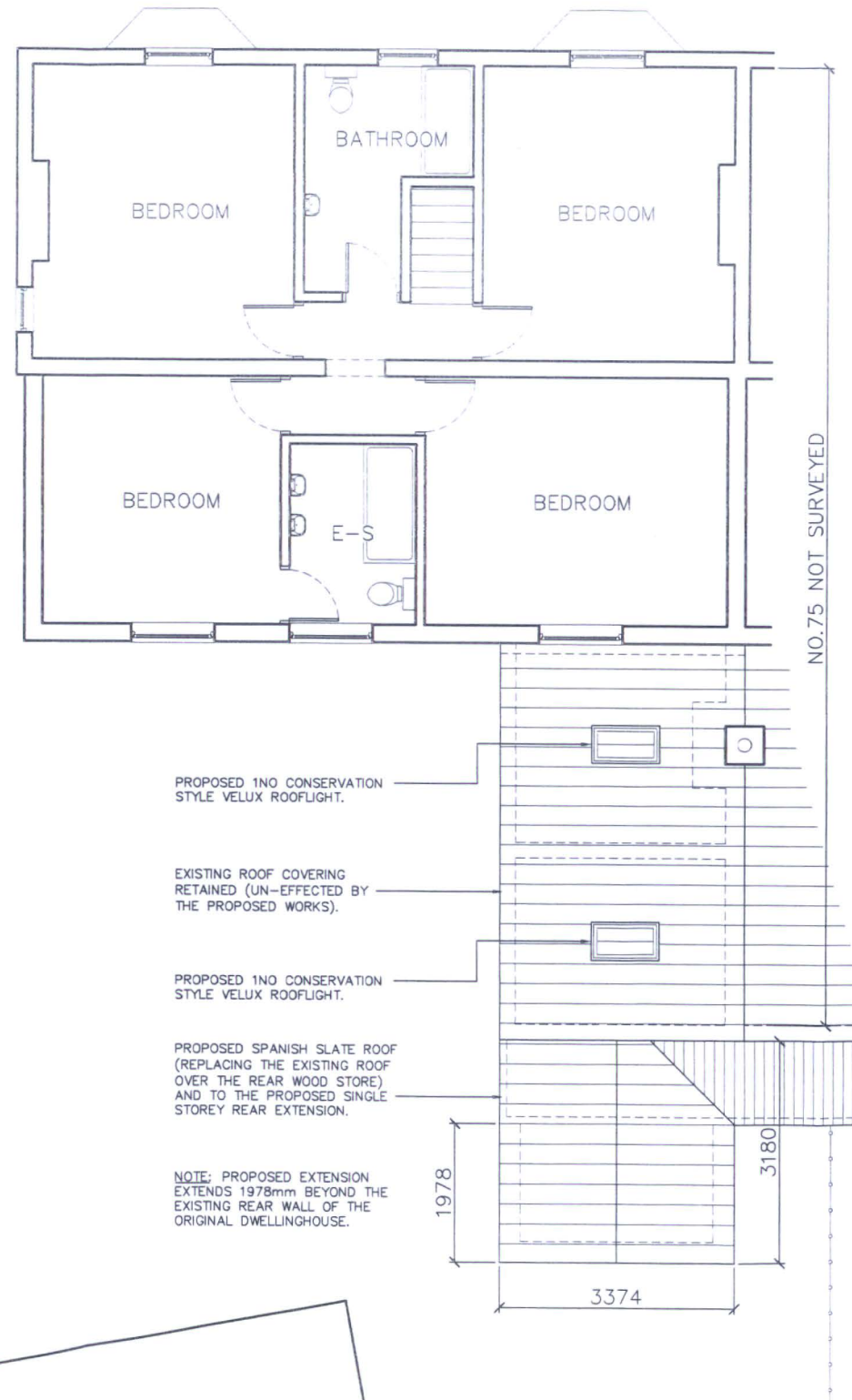
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B	09.01/24	POCKET / SLIDING DOOR ADDED TO THE PROPOSED UTILITY ROOM.	MRT	MRT

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PROPOSED GROUND FLOOR GA PLAN.



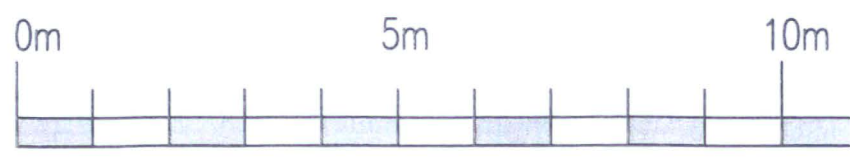
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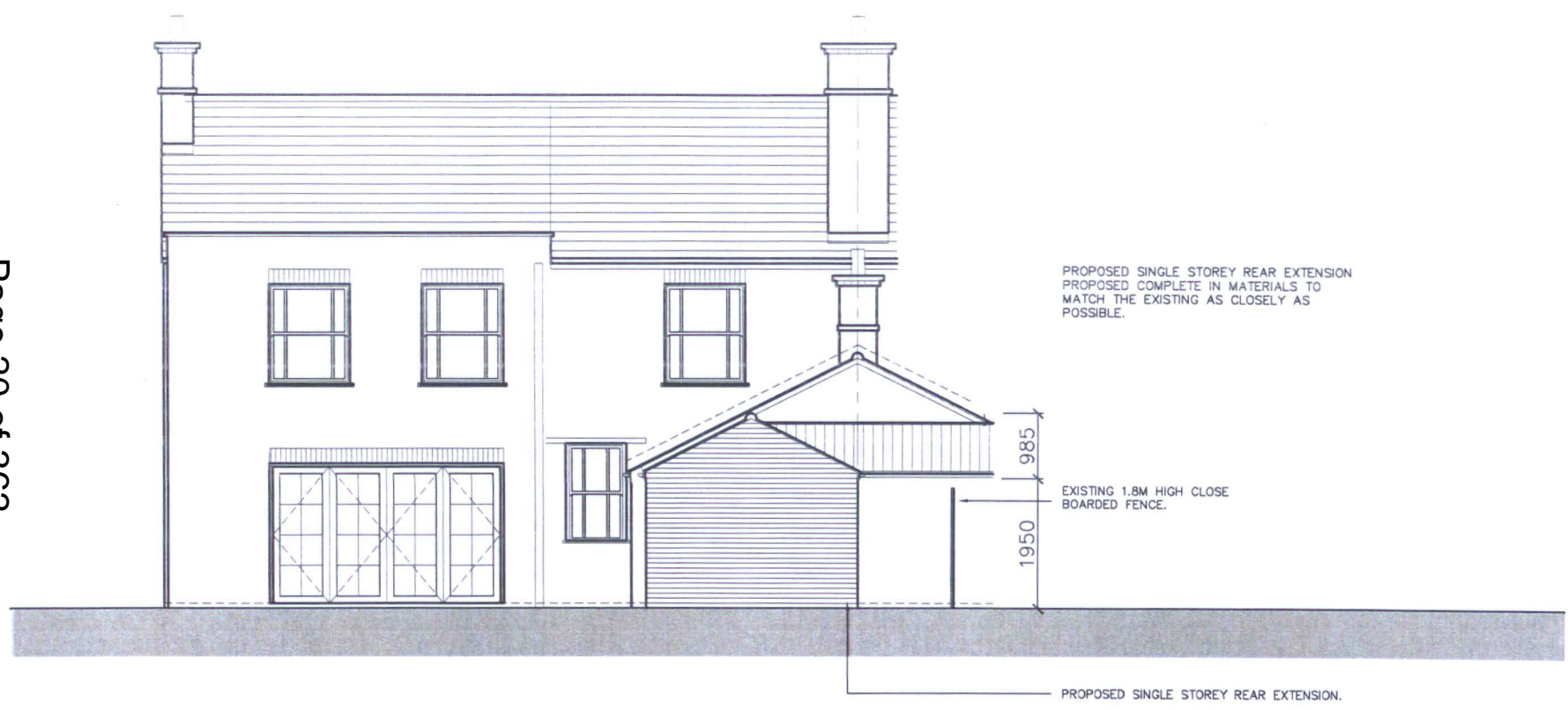
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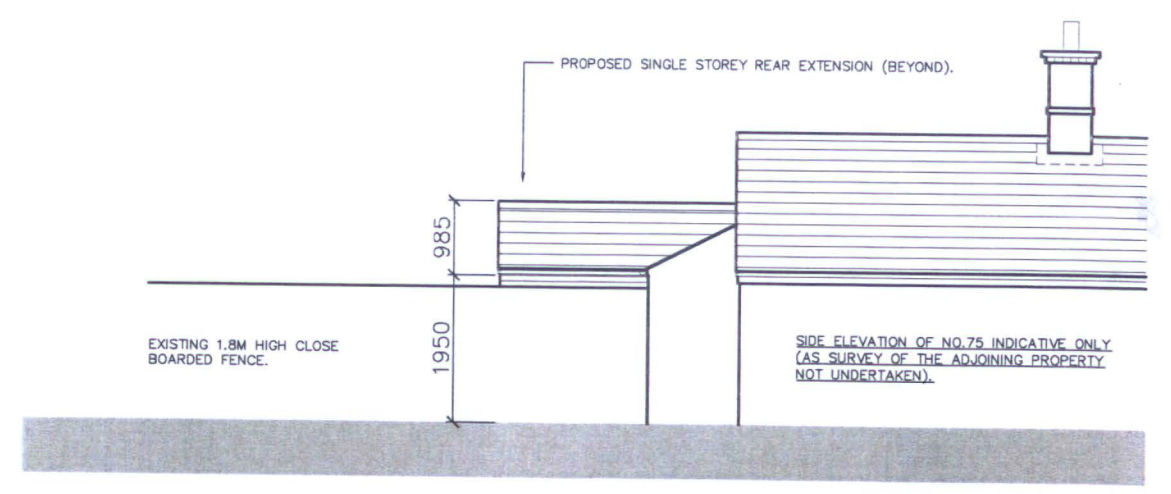
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A	04.01/24	MINOR AMENDMENTS AS PER CLIENT EMAIL DATED 04.01.24.		MRT	MRT

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PROPOSED REAR ELEVATION.



PROPOSED SIDE ELEVATION (AS VIEWED FROM NO.75).

PROPOSED MATERIALS:	
WALLS -	FACING (RECLAIMED) BRICKWORK TO MATCH THE EXISTING AS CLOSELY AS POSSIBLE.
ROOF -	SPANISH SLATE ROOF COVERING.
WINDOWS & DOORS -	HARDWOOD TIMBER PAINTED.
RAINWATER GOODS -	BLACK UPVC.

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Scale:	1:100@A3	Drawing Title:	PROPOSED ELEVATIONS SHEET 2.
Date:	JAN 2024	Project Title:	MR & MRS JOHNSON, 73 HIGH STREET, OFFORD D'ARCY.
Drwg number:	20231090/10	Revision:	A

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A	04.01/24	MINOR AMENDMENTS AS PER CLIENT EMAIL DATED 04.01.24.	MRT	MRT
B	09.01/24	WC WINDOW AMENDED TO A 900mm WIDE CASEMENT.	MRT	MRT



PROPOSED FRONT ELEVATION.



PROPOSED SIDE ELEVATION.

PROPOSED SINGLE STOREY REAR EXTENSION
 PROPOSED COMPLETE IN MATERIALS TO
 MATCH THE EXISTING AS CLOSELY AS
 POSSIBLE.

FACING BRICKWORK WITH TIMBER WINDOWS
 (PAINTED) AND EXISTING DOOR TO BE RE-
 USED. PROPOSED PITCHED ROOFS TO BE
 PROVIDED IN SPANISH SLATE.

PROPOSED 2ND CONSERVATION
 STYLE VELUX ROOFLIGHTS.

985
 1950

EXISTING 1.8M HIGH CLOSE
 BOARDED FENCE (BEYOND).

EXISTING REAR DOOR TO BE RELOCATED
 AND THE EXISTING APERTURE TO BE
 PARTIALLY BLOCKED UP (WITH TIMBER
 PANELLING) AND CASEMENT WINDOW.

EXISTING EXT DOOR RELOCATED
 TO FORM THE ENTRANCE TO THE
 PROPOSED BOOT ROOM.

PROPOSED OBSCURE
 GLAZED CASEMENT
 WINDOW TO THE WC.

EXISTING WINDOW APERTURE
 TO BE BRICKED UP.

PROPOSED MATERIALS:

WALLS – FACING (RECLAIMED) BRICKWORK TO MATCH
 THE EXISTING AS CLOSELY AS POSSIBLE.
 ROOF – SPANISH SLATE ROOF COVERING.
 WINDOWS & DOORS – HARDWOOD TIMBER PAINTED.
 RAINWATER GOODS – BLACK UPVC.

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Scale: 1:100@A3	Drawing Title: PROPOSED ELEVATIONS SHEET 1.
Date: JAN 2024	Project Title: MR & MRS JOHNSON, 73 HIGH STREET, OFFORD D'ARCY.
Drwg number: 20231090/9	Revision: B

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DEVELOPMENT MANAGEMENT COMMITTEE 22nd APRIL 2024

Case No: 21/01977/FUL

Proposal: ERECTION OF 4 TOWN HOUSES (TWO PAIRS OF SEMI- DETACHED DWELLINGS) RE SITING OF VEHICULAR ACCESS

Location: ELM LODGE, POTTON ROAD, EYNESBURY

Applicant: WALSH CONSTRUCTION

Grid Ref: 518774 259040

Date of Registration: 14th SEPTEMBER 2022

Parish: ST NEOTS

RECOMMENDATION - REFUSE

This application is referred to the Development Management Committee (DMC) in accordance with the Scheme of Delegation as the Officer recommendation of refusal is contrary to that of the Parish Council.

1. DESCRIPTION OF SITE AND APPLICATION

Site and Surroundings

- 1.1 The application site is located on the eastern side of Potton Road within the built-up area of Eynesbury which forms part of the St Neots Spatial Planning Area. The site comprises a late Victorian two-storey building known as Elm Lodge within a plot of approximately 0.8 hectares which is accessed from Potton Road. The existing hipped roof building is set back on the site and it is understood that it was last used as seven flats (4 bedsits, 2 x 1-bed flats and 1x 2bed flat). There is also a block of five garages at the rear of the site, all enclosed by Heras fencing. The site does not appear to have been in use for a number of years and the dwelling is now boarded up and the site is overgrown.
- 1.2 The site fronts onto a B classified road and is in a predominantly residential area with bungalows and modern two storey dwellings to the north and north-east, commercial buildings to the east adjacent to Elm Cottage at the rear of the site, and two storey dwellings to the south. To the west and south-west is a wider residential area known as Ridgeway.

Proposal

- 1.3 The application is for the demolition of the existing dwelling and garages and the erection of two pairs of semi-detached, one and a half storey dwellings, served by an amended access from Potton Road, located centrally along the plot's frontage. The forwardmost pair of dwellings would be set back in the plot by 9.5m from the southern boundary of the plot. The dwellings would be gable ended, both with a dormer window in the front elevation. The rearmost pair of dwellings would be sited at right angles to the front pair and set behind it at a distance of around 3.8m. The rear dwellings would be sited at right angles to the existing Elm Cottage, around 2m from its rear corner. These dwellings would be gable ended but without any dormer windows.
- 1.4 Parking for the dwellings would be provided in three locations – two spaces to the side of the dwelling on plot 1, two spaces diagonally to the front of the dwelling on plot 2 and four spaces at the rear of the site, in place of the existing garage block. They would be served by a mix of tarmac and paving. A wall would be erected along the site's frontage. The dwellings would each be served by small rear gardens.
- 1.5 In terms of constraints the site is not within a Conservation Area, there are no Listed Buildings in the immediate vicinity and no protected trees. The site lies within Flood Zone 1, which has a low risk of flooding as identified in the Environment Agency Flood Risk Maps.
- 1.6 The application is a re-submission of previous application reference 21/01184/FUL for the erection of 4 single bedroom flats and 3 two-bedroom houses. The application was refused as the proposal was considered to be overdevelopment of the site which would have an adverse impact on the street scene, depart from the characteristics of the area, and would not be adequately functional and accessible in terms of internal floorspace and car parking/manoeuvring in relation to the scale of development proposed. It was also considered that the proposal failed to provide a high standard of amenity for all users and occupiers of the proposed development and would adversely affect the residential amenities of Elm Cottage, No's 125 and 129 Potton Road.
- 1.7 This application has been accompanied by the following documents:
 - Preliminary Ecological Appraisal
 - Phase 1 Habitat Map
 - Site photos
- 1.8 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'
- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP1: Amount of Development
 - LP2: Strategy for Development
 - LP4: Contributing to Infrastructure Delivery
 - LP5: Flood Risk
 - LP6: Waste Water Management
 - LP7: Spatial Planning Area
 - LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity
 - LP15: Surface Water
 - LP16: Sustainable Travel
 - LP17: Parking Provision and Vehicle Movement
 - LP25: Housing Mix
 - LP30: Biodiversity and Geodiversity
 - LP31: Trees, Woodland, Hedges and Hedgerows
- 3.2 St Neots Neighbourhood Plan (2014 – 2029)
- A2: Design
 - A3: Design
 - PT1: Sustainable Modes of Transport
 - PT2: Vehicle Parking Standards for Residential Development
 - P4: Sustainable Drainage Systems

3.3 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Design Guide Supplementary Planning Document (2017)
- Developer Contributions SPD (2011)
- Huntingdonshire Landscape and Townscape SPD (2022)
- Huntingdonshire Strategic Flood Risk Assessment (2017)
- Cambridgeshire Flood and Water SPD (2017)
- LDF Developer Contributions SPD (2011)
- Annual Monitoring Review regarding housing land supply (2020)
- Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)

Local policies are viewable at <https://www.huntingdonshire.gov.uk>

3.4 The National Design Guide (2021):

- C1 - Understand and relate well to the site, its local and wider context
- I1 - Respond to existing local character and identity
- I2 - Well-designed, high quality and attractive
- B2 - Appropriate building types and forms
- M3 - Well-considered parking, servicing and utilities infrastructure for all users
- N3 - Support rich and varied biodiversity
- H1 - Healthy, comfortable and safe internal and external environment
- H2 - Well-related to external amenity and public spaces
- H3 - Attention to detail: storage, waste, servicing and utilities.

For full details visit the government website

4. PLANNING HISTORY

- 4.1 86/00969/FUL - Alterations to provide 7 flats - Permitted 1986.
- 4.2 0703595DEMDT - Demolition of block of seven flats. Details not required 2007.
- 4.3 0901120OUT - Residential development (8 flats)- The access was for consideration as part of this application and all other matters were reserved - Permitted 04.11.2009. This permission has since expired.
- 4.4 18/01598/OUT - Demolition of existing building and erection of up to 8 flats (residential development) with all matters reserved. Permitted 27.01.2020.

- 4.5 21/01184/FUL - Erection of 4 single bedroom flats and 3 two-bedroom houses. Refused 11.02.2022.

5. CONSULTATIONS

- 5.1 St Neots Town Council – Recommend approval. Minimum impact on neighbours, satisfactory proposal in terms of scale and pattern of development. Makes efficient use of site.
- 5.2 Cambridgeshire County Council’s Highway Authority – The proposed site plan does not provide any details of the access. As it is a shared access, it should be 5m wide for 10m from the highway boundary hard surfaced for 5m from the highway boundary. Also, drainage should be provided to prevent water discharging from the site to the public highway and vice versa.

The applicant will need to detail vehicle to vehicle visibility splays in accordance with the posted speed limit. Visibility splays should be detailed as 2.4m x 43m with no obstruction over 0.6m.

The parking spaces for Plot 1 appear to be less than 2.5m wide and would be difficult to manoeuvre into and out of. This could result in a vehicle being parked in the shared area thus reducing the turning space for the other properties’ vehicles.

- 5.3 Cambridgeshire County Council Archaeology – Prior to determination of the application, it is recommended that the applicant should be required to submit further information. As a minimum this should entail production of a heritage statement and a photographic survey of the property to determine the extent of historic fabric surviving. The survey should include clear images of all external and internal elevations, covering all floors, and should be accompanied by a plan or plans showing the location and direction of images taken (witness diagram). This is required in order for a balanced judgement to be made with regard to surviving historic fabric to be lost, and the scope of any mitigation which may be considered necessary. With respect to the National Planning Policy Framework, paragraphs 194, 195 and 203 apply.

Should the applicant be unable to provide the requested photographic survey for review within the timeframe for determination of this application, or should Huntingdonshire District Council consider that there is not scope to require additional supporting information at this stage, we would consider that on the balance of evidence as currently presented it is unlikely that we would object outright to development from proceeding in this location, but would recommend that the building should be

subject to a programme of formal archaeological investigation in mitigation to its loss. This could be secured through condition.

5.4 HDC Urban Design – Objects to the proposals on the following grounds:

The proposed gardens (particularly for Plot 2) are uncharacteristically small compared to existing adjacent units and in the case of Plot 1 are unlikely to accommodate the functional design requirements of the unit and storage of bins and bikes required by Local Plan Policy LP17.

Whilst the revised scheme reduces overshadowing and overbearing impacts to Elm Cottage, there is concern the proposals could increase perceived overlooking impacts to the rear gardens of Nos. 125 and 129 Potton Road either side. Detailed sections are required to confirm the cill height of windows on the front and rear elevations of Plots 3 and 4. The cill height of the bedroom rooflight on the rear elevation of Plot 2 should also be confirmed given potential overlooking impacts to the rear garden of Plot 3.

The scheme as submitted is considered contrary to Local Plan Policy LP11, LP12 (parts L, M), LP14, LP17 as well as the placemaking principles set out in Chapter 3 of the HDC Design Guide SPD.

6. REPRESENTATIONS

6.1 None Received

7. ASSESSMENT

7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.

7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2021). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".

- 7.3 In Huntingdonshire the Development Plan (relevant to this applications) consists of:
- Huntingdonshire's Local Plan to 2036 (2019)
 - Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)
 - St Neots Neighbourhood Plan 2014-2029
- 7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.5 The main issues to consider in the determination of this application are:
- Principle of Development
 - Design and Visual Amenity
 - Residential Amenity
 - Highway Safety and parking provision
 - Flood Risk and Surface Water
 - Biodiversity
 - Archaeology
 - Accessible and Adaptable Homes
 - Water Efficiency
 - Developer Contributions

Principle of Development

- 7.6 The site is located within the St Neots Spatial Planning Area which incorporates the whole parish of St Neots as identified by Policy LP7 of the Local Plan. It is also within the St Neots Neighbourhood Area as delineated in the St Neots Neighbourhood Plan.
- 7.7 Policy LP7 of the Local Plan states "A proposal for development on a site which is additional to those allocated in this plan will be supported where it fulfils the following requirements and is in accordance with other policies: A proposal for housing development (class 'C3') or for a residential institution use (class 'C2') will be supported where it is appropriately located within a built-up area of an identified Spatial Planning Area settlement."
- 7.8 The site is located within the built-up area of St Neots and the last use of the site and building was residential comprising 7 flats, but it has been unoccupied for a number of years. The site is in an accessible and sustainable location in the built-up area of St.

Neots where residents would have access to wide range of services facilities through sustainable transport modes.

- 7.9 The proposed development residential use, is therefore supported in principle in this location in accordance with St Neots Neighbourhood Plan and Policy LP7 of the Local Plan subject to the assessment against other relevant policies and material planning considerations discussed below.

Design and Visual Amenity

- 7.10 Paragraph 135 of the NPPF states that planning policies and decisions should ensure that developments;

a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;

b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;

c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);

d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;

e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and

f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

- 7.11 Policy LP11 of the Local Plan states that a proposal will be supported where it is demonstrated that it responds positively to its context. Policy LP12 states that new development will be expected to be well designed and that a proposal will be supported where it can be demonstrated that it contributes positively to the area's character and identity and successfully integrates with adjoining buildings and landscape. This is also reflected in the Huntingdonshire Design Guide SPD and Section 12 of the National Planning Policy Framework.

- 7.12 Policy A3 of the St Neots Neighbourhood Plan (2016) states that "All development must be designed to a high quality that reinforces local distinctiveness. Design should be guided by the overall scale, density, massing, height, landscape, layout, materials, detailing, roof orientation, relationship to back of pavement, wall to window

ratios, proportion of windows, plan depth, plot width and access, the site and its surroundings including considerations of flood risk management.

- 7.13 Buildings on the fringes of major developments should have variations in height, style and position. They should reflect the town heritage design and characteristics with a variety of traditional and modern building materials. As a matter of good design, defensible space should be provided. Careful consideration should be given to the servicing requirements of buildings to ensure that essential items such as car parking and space for the storage of waste and recycling bins are successfully integrated into the design, including access for service and emergency vehicles."
- 7.14 Section 12 of the NPPF (2023) seeks to achieve well designed places, noting that the creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development.
- 7.15 The National Design Guide 2021 addresses the question of how we recognise well-designed places, by outlining and illustrating the Government's priorities for well-designed places in the form of ten characteristics. Paragraph 40 of the National Design Guide states that development should respond positively to the features of the site itself and the surrounding context, including layout, form and local character.
- 7.16 The Huntingdonshire Design Guide 2017 sets out design principles based on recognised best practice and explains key requirements that the Council will take into consideration when assessing planning proposals. The Design Guide promotes locally distinctive design which respects and enhances the character of Huntingdonshire.
- 7.17 The guide notes that with regard to building detailing, the district has various architectural styles and materials which reflects the local vernacular. It is noted that new buildings should be designed in harmony and proportional to each other, complimenting the overall street character of the place. Appropriate spaces between buildings helps to create an interesting streetscape. Detailed guidance is also provided relating to roofs, eaves and ridge lines and chimneys. With regards to materials, these should complement the successful parts of any surrounding developments in order to conserve or enhance the distinctive character of the various parts of the district and to ensure that buildings sit comfortably within the landscape.

- 7.18 The site is located on the eastern side of Potton Road within the built-up area of Eynesbury and comprises a late Victorian building known as Elm Lodge; a two-storey hipped roof detached dwelling that has previously been converted to 7 flats. The existing property fronts Potton Road and is in a predominantly residential area with bungalows and the access road leading to Elm Cottage to the north (No. 129 Potton Road), modern two storey dwellings south (Nos. 123 and 125) and commercial buildings and Elm Cottage to the rear / east of the site. To the west and south-west is a wider residential area known as Ridgeway.
- 7.19 The street scene therefore comprises a variety of single and two storey dwellings (detached and semi-detached), set back in their plots by up to around 12m, though many are a lot closer to their frontages. Some of the dwellings are built to their flank boundaries at ground and first floor levels, though there is a degree of spaciousness to the street scene by virtue of the setback nature of the dwellings. The area is characterised by low boundary walls or open-plan frontages with deep lawns.
- 7.20 The application proposes to demolish Elm Lodge and erect 4 units comprising two pairs of 2-bed semi-detached dwellings. The proposed units are 1.5-storeys in height with some 3.7m eaves and 6.86m ridge heights. Plots 1 and 2 are orientated to front Potton Road, approximately 5.5m forward of the existing Elm Lodge building line but reflect a similar building line and orientation as No. 129 adjacent. Plots 3 and 4 are located to the rear of the site, arranged parallel with the Elm Cottage access that extends along the northern site boundary. Plots 3 and 4 are located approximately 3.9m to the east / rear of Plots 1 and 2.
- 7.21 The application states that the dwellings will be constructed of facing brickwork with interlocking tiles – type and colour to be confirmed. It is considered that details of the proposed materials (facing brick, roof tile) and architectural details (windows – means of opening, colour and reveal depth, the location and colour of meter boxes and flues/extracts) could be conditioned should planning permission be granted.
- 7.22 The previous scheme 21/01184/FUL was refused on the grounds of excessive scale of the rear wing and its poor relationship and unsuccessful integration with the adjacent bungalows to the north, the adverse impact on the street scene, and the impact on the site's frontage to Potton Road, which would be dominated by hardstanding, car parking and a bin store with minimal soft landscaping to complement the generous front gardens and landscaped character of existing dwellings along Potton Road.
- 7.23 Urban Design Officers have considered the application and have commented that the proposed units have a low eaves and ridge height compared to the existing Elm Lodge, however the

approximately 1.3m high gap between the window heads and eaves line creates a large area of blank brickwork that appears disproportionate to the scale of the units. A lower eaves height (and steeper roof pitch) is recommended to improve the proportions of the ground floor level in order to better relate to the adjacent existing bungalows. The side elevations are also entirely blank and side Ground Floor windows (living room or kitchen) are required on Plots 1 (to overlook the parking), Plot 2 (to overlook the access) and Plot 4 (to overlook the parking for Plots 3 and 4) as well as adding interest and breaking up the amount of brickwork. Accordingly the design of the dwellings is not considered to be in keeping with the character and appearance of the area and the street scene.

- 7.24 The proposal includes the demolition of the garage block to the rear of the site in order to accommodate two parking spaces each for Plots 3 and 4. Parking for plot 1 is located to the side of the unit and parking for Plot 2 towards the frontage, setback behind soft landscaping. The arrangement of car parking and hardstanding is considered to be acceptable and maintains an area of soft landscaping along the site frontage with Potton Road. This is considered to overcome the concerns raised with the previous scheme (21/01184/FUL).
- 7.25 The proposed boundary treatments including the boundary between the new access and the existing access to Elm Cottage have not been confirmed. A brick wall with piers is proposed along the frontage with Potton Road however, details of the height of this have not been confirmed. Low brick walls with planting are a common feature in the street scene and therefore this would be in keeping with the area, however, it will be necessary to condition hard and soft landscaping details should planning permission be granted.
- 7.26 Whilst Huntingdonshire do not have private amenity space standards, Local Plan Policy LP12 part L requires that development 'ensures that public and private amenity spaces are clearly defined and designed to be inclusive, usable, safe and enjoyable'. The HDC Design Guide SPD Implementation Questions for infill and small groups (page 221) also asks 'has an adequate amount of amenity space been provided for each residential unit and is it of a shape, size and location to allow effective and practical use by residents?'
- 7.27 The National Design Guide (para 129) states 'External spaces are designed to respond to local character, as appropriate solutions will vary by the context, for example whether it is a town centre or suburb'... and para 130 'Well-designed private or shared external spaces are fit for purpose and incorporate planting wherever possible. The appropriate size, shape and position for an external amenity space can be defined by considering:

- o how the associated building sits in the wider context, including access to public and open spaces;
 - o how the amenity space will be used, what for, and by whom;
 - o environmental factors that may affect its usability, such as sunlight and shade, noise or pollution;
 - o wider environmental factors affecting its quality or sustainability, such as a green corridor or drainage’.
- 7.28 The proposed gardens are considered uncharacteristically small compared to the existing adjacent gardens in Potton Road with plot 2 featuring a very small and cramped amenity space measuring just 3m deep x 5.6m wide. As such, the proposal is considered to represent a cramped form of development with limited amenity space for each property that would be uncharacteristic with the established grain of development in the locality.
- 7.29 Overall, by virtue of the cramped form of development with inadequate private amenity spaces for the proposed dwellings, the proposal is considered to be of poor design that would result in detrimental impacts to the character and appearance of the site, the street scene of Potton Road and the surrounding area. Therefore, the proposal would be contrary to Policies LP11, LP12 and LP14 of Huntingdonshire’s Local Plan to 2036, the Huntingdonshire Design Guide SPD and Section 12 of the National Planning Policy Framework in this regard and should be refused planning permission in this instance.

Residential Amenity

- 7.26 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.

Amenity of neighbouring properties

- 7.27 The main matters to consider in terms of residential amenity are the potential overlooking, overbearing and overshadowing impacts to the adjoining residential properties Elm Cottage and Nos. 125 & 129 Potton Road.
- 7.28 The nearest residential property is Elm Cottage, immediately to the rear of the site. Plots 3 and 4 extend further back into the site, approximately 1.6m beyond the rear building line of Elm Lodge. As such the east elevation of Plot 4 would align with the west elevation of Elm Cottage. Previous comments on the refused 21/01184/FUL application raised concerns that the scale and massing of the rear wing could dominate views from the existing

windows on the rear elevation of Elm Cottage and result in a reduction in daylight and sunlight to this unit.

- 7.29 The position of windows on the rear (north) facing elevation of Elm Cottage are not shown on the revised submitted site plan dwg DW4.22, however based on the previous 21/01184/FUL application, these existing windows would already fall within 45 degrees of Elm Lodge and impact the daylight to this unit. It is considered that whilst the proposed Plots 3 and 4 are sited closer to Elm Cottage, compared to Elm Lodge, the lower 1.5 storey height with 3700mm eaves and 6860mm ridge height is likely to have a positive improvement on the daylight and sunlight to Elm Cottage.
- 7.30 With regard to No. 125 Potton Road, Plots 3 and 4 are arranged perpendicular to the side garden boundary with No. 125 Potton Road. These units feature approximately 8.8m deep gardens and are separated from the neighbouring garden by a row of existing trees. Notwithstanding this there is concern that the first floor bedroom rooflights on the rear elevation of Plots 3 and 4 could result in overlooking impacts to the rear garden of No. 129. The cill height of these roof lights has not been confirmed (a section drawing is required through the plot) and therefore it has not been sufficiently demonstrated that the proposals would not result in overlooking and a loss of privacy to No. 125.
- 7.31 With regard to No. 129 Potton Road, Plots 3 and 4 are arranged parallel with the northern site boundary and access track leading to Elm Cottage and are located 12.6m from the southern gable elevation of No. 125 Potton Road. There is concern the first-floor bedroom rooflights in Plot 4 could result in perceived overlooking impacts to the neighbouring rear garden. Again, the cill height of these rooflights has not been confirmed to ensure the proposals would not result in a loss of privacy to No. 129.

Amenity for future occupiers

- 7.32 Policy LP14 states that a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development. A proposal will therefore be required to ensure:
- a. adequate availability of daylight and sunlight for the proposed use, minimising the effects of overshadowing and the need for artificial light;*
- 7.33 Within the site, the dwellings (in particular plot 1) would permit the direct overlooking of the rear gardens of the dwellings on plots 3 and 4 from the Velux windows in its roof. Furthermore, the distance between the rear elevation of the dwelling on plot 2 and the flank elevation of the dwelling on plot 3 would be around 3.9m. At such close proximity and with a gable end, the dwelling on plot

3 would appear overbearing and visually intrusive when viewed from the windows in the rear elevations and the rear gardens of the dwellings on plots 1 and 2. The proposal would therefore have a harmful impact in this regard.

- 7.34 In terms of the internal arrangement of the units, whilst the Council do not have private amenity standards, local and national planning policies require development to have a good standard of amenity. The proposals are considered to fall short of the nationally described space standards on several matters which highlights the cramped nature of the development.
- 7.35 The dwellings would have a gross internal floorspace of around 58 sqm which is below the minimum floorspace requirement for two beds, three-person two storey dwellings (70 sqm), as contained in the Nationally Described Technical Housing Standards document (2015). The ground floor living accommodation would be of a suitable size and would provide for a satisfactory standard of living. However, whilst the larger of the two bedrooms in each of the proposed dwellings would exceed the standard for a double bedroom in the standards document, the smaller of the bedrooms would not.
- 7.36 Failure to achieve the nationally described minimum space standards brings into question whether the proposals would accord with Policy LP25 part F of the Local Plan which states "A proposal that includes housing will be supported which meets the optional Building Regulation accessibility standards (or replacement standards), unless it can be demonstrated that site-specific factors make achieving this impractical or unviable: ensuring 100% of new dwellings, across all tenures provided, meet Building Regulation requirement M4(2) 'accessible and adaptable dwellings' (or replacement standards)"
- 7.37 The proposed gardens are also considered uncharacteristically small compared to existing adjacent gardens in Potton Road. The small garden sizes, particularly for Plot 2, are unlikely to provide sufficient space for general every day needs, along with the storage of bins and bikes required by Local Plan Policy LP17. Together with the poor outlook and impact upon amenities, the proposed development would provide for a poor standard of accommodation for the dwellings' future occupiers.
- 7.38 The proposal therefore fails to provide a high standard of amenity for all occupiers of the proposed development and fails to maintain the standard of amenity currently experienced by Nos. 125 & 129 Potton Road. The proposed development is therefore contrary to Policy LP14 of the Huntingdonshire Local Plan to 2036, the Huntingdonshire Design Guide Supplementary Planning Document (2017) and the National Planning Policy Framework (2023).

Highway Safety

- 7.39 Policies LP16 and LP17 of the Local Plan to 2036 seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles and service vehicles and incorporates adequate parking for vehicles and cycles.
- 7.40 Policy PT2 of the St Neots Neighbourhood Plan states that "All development proposals which include an element of residential development, including change of use to residential, must provide adequate space for vehicle parking to meet the expected needs of residents and visitors.
- 7.41 A design-led approach should be taken to ensure parking is properly integrated into the layout of the scheme, minimises adverse impacts on surrounding uses, and facilitates traffic flow and accessibility for service and emergency vehicles."
- 7.42 The County Highways Authority upon assessment of the proposal indicated that insufficient information has been submitted to demonstrate that the proposed shared access could be utilised safely. Furthermore, no information has been submitted to demonstrate the method of drainage of the access road to prevent surface water discharging from the site onto the public highway and vice versa and no detail has been submitted to demonstrate that adequate vehicular visibility splays could be provided in accordance with the posted speed limit. The parking spaces for Plot 1 also appears to be of inadequate dimensions and likely to result in a vehicle being parked in the shared area thus reducing the turning space for the other properties' vehicles. The proposed development would therefore impact adversely on the safety of the future users of the development and the safety of the users of the adjoining highway contrary to the objectives of Policy LP17 of the adopted Huntingdonshire's Local Plan to 2036.
- 7.43 The Highway authority did request the submission of additional plans and information regarding the access and visibility splays, drainage and the size of the parking spaces. However, given the significant concerns with the proposed development, the additional Highways information was not sought.
- 7.44 Overall, it is considered that the proposed development is considered unacceptable on the grounds of highway safety and as such in conflict with Policy LP17 of the HDC Local Plan to 2036 and the NPPF (2023) in this regard.

Flood Risk and Surface Water

- 7.45 National guidance and Policy LP5 of the Local Plan to 2036 seek to steer new developments to areas at lowest risk of flooding and advises this should be done through application of the Sequential Test, and if appropriate the Exceptions Test (as set out in paragraphs 165-175 of the NPPF (2023)).
- 7.46 In this case, the application site is situated in Flood Zone 1 based on the Environment Agency Floods Maps and the Strategic Flood Risk Assessment (2017) and is not in an area noted as susceptible to ground water flooding (<25%).
- 7.47 Given that the site is in Flood Zone 1 and comprises less than 1 hectare of land, the sequential and exceptions tests for flooding nor the submission of a flood risk assessment are considered necessary in this instance in accordance with the NPPF and NPPG.
- 7.48 The application form states that surface water would be disposed via a sustainable drainage system and that the method for foul water drainage would be via mains sewer. Given the low flood risk and minor scale of development, Officers are satisfied that full details of the surface and foul water drainage can be secured as part of building regulations and other relevant legislative requirements in this instance.
- 7.49 Therefore, the proposal is considered to be acceptable with regard to its impact on both flood risk and surface water and therefore accords with Policies LP5, LP6 and LP15 of Huntingdonshire's Local Plan to 2036 and Section 14 of the National Planning Policy Framework in this regard.

Biodiversity

- 7.50 Paragraph 180 of the 2023 NPPF states planning policies and decisions should contribute to and enhance the natural and local environment. Policy LP30 of the Local Plan to 2036 states that development proposals should demonstrate that all potential adverse impacts on biodiversity have been investigated. Any proposal that is likely to have an impact, directly or indirectly on biodiversity will need to be accompanied by an appropriate appraisal, such as a Preliminary Ecological Appraisal (PEA). LP30 also states that all proposals must also demonstrate a net gain in biodiversity where possible.
- 7.51 The application has been accompanied by a Preliminary Ecological Appraisal. It considered that the site has limited ecological potential and that the development would have a low risk of significant impact for such species. The PEA makes a number of ecological mitigation and enhancement recommendations. These are considered acceptable in terms of

enhancing the ecological value of the site. In the event of permission for the proposal being granted, these may be secured by condition.

- 7.52 Overall, subject to the imposition of conditions, the proposal is considered to be in accordance with Policy LP30 of Huntingdonshire's Local Plan to 2036 and Section 15 of the National Planning Policy Framework in this regard.

Archaeology

- 7.53 The County Archaeologist recommends that a heritage statement and a photographic survey of the property be undertaken in advance of the grant of permission in order to enable a balanced judgement to be made with regard to surviving historic fabric to be lost, and the scope of any mitigation which may be considered necessary. Given the concerns with the proposed development, such a survey was not sought. However, it is considered that in the event of the proposed development being found acceptable, such a survey may be conditioned.

Accessible and Adaptable Homes

- 7.54 Policy LP25 of the Huntingdonshire's Local Plan to 2036 states that proposal for new housing will be supported where they meet the optional Building regulation requirement M4(2) 'accessible and adaptable dwellings' unless it can be demonstrated that site specific factors make this impractical or unviable.
- 7.55 To ensure that the development can meet these standards a condition would be imposed on any permission that may be granted in this regard in accordance with Policy LP25 of Huntingdonshire's Local Plan to 2036.

Water Efficiency

- 7.56 Policy LP12 (j) of the Local Plan to 2036 states that new dwellings must comply with the optional Building Regulation requirement for water efficiency set out in Approved Document G of the Building Regulations. Whilst confirmation of compliance from the Applicant/Agent has not been sought given the concerns raised with regards to aspects of the application, a condition could be attached to any approval decision to ensure compliance with the above.

Developer Contributions

Bins

- 7.57 Part H of the Developer Contributions SPD (2011) requires a payment towards refuse bins for new residential development. A Unilateral Undertaking to secure the provision of wheeled bins has not been submitted as part of the application. On this basis the proposal would not provide a satisfactory contribution to meet the tests within the CIL Regulations. The proposal would therefore fail to accord with Policy LP4 of the Huntingdonshire Local Plan to 2036 and the Developer Contributions Supplementary Planning Document (2011).

Community Infrastructure Levy (CIL)

- 7.58 The development will be CIL liable in accordance with the Council's adopted charging schedule; CIL payments will cover footpaths and access, health, community facilities, libraries and lifelong learning and education.

Conclusion

- 7.59 As outlined above, all planning applications should be determined in accordance with the development plan, unless material considerations indicate otherwise.
- 7.60 This proposal seeks permission for the demolition of the existing dwelling and garages and the erection of two pairs of semi-detached one and a half storey dwellings served by an amended access from Potton Road with parking.
- 7.61 Overall, by virtue of the cramped form of development with inadequate private amenity spaces for the proposed dwellings, the proposal is considered to be of poor design that would result in detrimental impacts to the character and appearance of the site, the street scene of Potton Road and the surrounding area. The proposal also fails to provide a high standard of amenity for all occupiers of the proposed development and fails to maintain the standard of amenity currently experienced by Nos. 125 & 129 Potton Road.
- 7.62 Based on the limited information and inadequate access dimensions, the Local Planning Authority are also not able to satisfy themselves that the proposal would not result in unacceptable harm to highway safety.
- 7.63 It is also worth noting that a Unilateral Undertaking to secure the provision of wheeled bins has not been provided during the course of the application.

7.64 As such, the proposed development is considered to be contrary to Policies LP4, LP7, LP11, LP12, LP14 and LP17 of the adopted Huntingdonshire Local Plan to 2036, the Huntingdonshire Design Guide SPD (2017), the Developer Contributions Supplementary Planning Document (2011) and Sections 9 and 12 of the National Planning Policy Framework (2023).

7.65 Taking national and local planning policies into account, and having regard for all relevant material considerations, it is concluded that the proposed development is contrary to policy and not acceptable. There are no overriding material considerations that indicate that permission should be granted in this instance. Therefore, it is recommended that the application be refused.

8. RECOMMENDATION - REFUSAL for the following reason:

1. The proposal would result in the introduction of two pairs of semi-detached dwellings whose design would be incongruous with the dominant character and appearance of the street scene. Furthermore, the siting and scale of the proposal would result in a cramped, over-development of the site resulting in inadequate private amenity spaces for the proposed dwellings that would be uncharacteristic of properties in the locality and would result in detrimental impacts on the street scene of Potton Road. As such, the proposal is considered to be contrary to Policies LP11, LP12 and LP14 of the Huntingdonshire Local Plan to 2036, the Huntingdonshire Design Guide SPD (2017), the National Design Guide and Section 12 of the NPPF (2023).
2. The proposal fails to demonstrate that the dwellings on plots 3 and 4 would not result in the increased overlooking and the perception of being overlooked to the rear gardens of No. 125 and 129 Potton Road. Accordingly, the proposal fails to maintain the standard of amenity currently experienced by users and occupiers of Nos. 125 & 129 Potton Road in conflict with Policy LP14 of the Huntingdonshire Local Plan to 2036 and the NPPF (2023).
3. As a result of the distance between the rear elevation of the dwelling on plot 2 and the flank elevation of the dwelling on plot 3, the dwelling on plot 3 would appear overbearing and visually intrusive when viewed from the windows in the rear elevations and rear gardens of the dwellings on plots 1 and 2. The location of the roof lights in plot 1 could also permit the direct overlooking of the rear gardens of the dwellings on plots 3 and 4. Accordingly by virtue of the design, siting and proximity of the dwellings within the site, the proposed development would have a harmful impact upon the amenities of the future occupiers of the dwellings contrary to Policy LP14 of the Huntingdonshire Local Plan to 2036, the Huntingdonshire Design Guide Supplementary Planning

Document (2017) and the guidance in the National Planning Policy Framework (2023).

4. The proposed development by virtue of the sub-standard size of the accommodation in the dwellings and related gardens, would lead to a poor standard of accommodation and amenity for the future occupiers and is unlikely to provide sufficient space to satisfy the needs of a family. The proposed development is therefore contrary to Policy LP14 of the Huntingdonshire Local Plan to 2036, the Huntingdonshire Design Guide Supplementary Planning Document (2017) and the National Planning Policy Framework (2021).
5. Due to the lack of information regarding visibility splays and adequate access dimensions, the Local Planning Authority are not able to make a comprehensive assessment in regard to the impact of the proposal on highway safety. The parking spaces for Plot 1 also appears to be of inadequate dimensions and is likely to result in a vehicle being parked in the shared area thus reducing the turning space for the other properties' vehicles. The proposal therefore fails to demonstrate that there will be no adverse highway safety impacts and is considered contrary to Policy LP17 of Huntingdonshire's Local Plan to 2036 and section 9 of the National Planning Policy Framework (2023).
6. The application is not accompanied by an accurately completed Unilateral Undertaking for the provision of wheeled bins and therefore fails to comply with part H of the Developer Contributions Supplementary Planning Document (2011) and Policy LP4 of the Huntingdonshire Local Plan to 2036.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs

CONTACT OFFICER:

Enquires about this report to **Adeleh Haghgoo Senior Development Management Officer – adeleh.haghgoo@hungtindonshire.gov.uk**

SCHEDULE OF PLANNING APPLICATIONS – 25 October 2022

No.	Reference	Development	SNTC Decision	Notes
S1	22/01874/FUL	EE (UK) LTD Mast Above 2 - 6 High Street St Neots Removal of 4.5m trisector antenna flagpole structure (top at 15m) and all ancillary development Installation of 6m trisector antenna flagpole structure (top at 16.4m) and all ancillary development	Approve	Within a sustainable location
S2	22/02070/HHFUL	Mr Simon Fennell 1 Teversham Way Eaton Ford St Neots PE19 7QT Erection of two storey side extension	Approve	Satisfactory proposal in terms of scale and pattern of development. Makes efficient use of its site.
S3	22/01949/TREE	Mrs Jennifer Park 3 Manor House Close Eaton Socon St Neots T1 Sycamore - Crown reduce and shape tree by 2 metres overall and remove any dead wood to keep tree from becoming too large for its location and overhanging property and causing any future property damage.	Approve	Subject to the approval of HDC Tree Officer.
S4	22/01826/FUL	Mr Dakin 35 Drake Road Eaton Socon Erection of a bungalow	Object Cllrs Maslen and Kumar abstained	Overdevelopment of the site. Layout and density of buildings Road Access, with a very narrow road.
S5	22/02040/LBC	Mrs Marg Harris 33 Church Street St Neots PE19 2BU Repair of arched window head to first floor window	Approve	Subject to the approval of HDC conservation officer and the materials used are like for like.
S6	22/02075/FUL	Mr Musharraf Ginai 3 Howard Road Eaton Socon St Neots Insertion within the existing building elevations additional windows and doors	Approve	Minimum impact on neighbours.
S7	22/01836/FUL	Elysium Healthcare Priory Hospital St Neots Howitts Lane Eynesbury Single storey modular units, for storage and staff rest, and fence alterations. (Resubmission 21/01680/FUL)	Approve Cllrs Kumar Laycock, and Slade abstained	Minimum impact on neighbours. Improves the property. Satisfactory proposal in terms of scale and pattern of development.

SCHEDULE OF PLANNING APPLICATIONS – 25 October 2022

No.	Reference	Development	SNTC Decision	Notes
S8	22/01977/FUL	Walsh Construction Elm Lodge Potton Road Eynesbury Erection of 4 town houses (two pairs of semi detached dwellings) Re siting of vehicular access	Approve Cllr Laycock abstained	Minimum impact on neighbours. Satisfactory proposal in terms of scale and pattern of development. Makes efficient use of site.
S9	22/01640/HHFUL	Mr Blanchard 7 Saxon Place Eynesbury St Neots Erection of First floor extension, garage conversion and changes to the fenestration	Approve	Minimum impact on neighbours. Satisfactory proposal in terms of scale and pattern of development. Makes efficient use of site.
S10	22/01664/HHFUL	Mr & Mrs Barnden 33 Springbrook Eynesbury St Neots Proposed annex for ancillary accommodation for an elderly relative.	Approve Cllrs Laycock and Thorpe abstained	Members noted comments submitted by neighbours refer to a line of mature hawthorn trees along the boundary of the proposed development. Members support the application with a condition that the hawthorn trees are protected. In keeping with locality. Satisfactory proposal in terms of scale and pattern of development. Makes efficient use of its site.
S11 S12	22/01891/LBC 22/02144/FUL	Cross Keys (St Neots) Limited 16 Cross Keys Mews St Neots PE19 2AR Demolition of single storey rear extension and erection of new single storey rear extension	Approve	Subject to the approval of HDC conservation officer and in consultation with Historic England.
S13	22/01675/FUL	Tesco (Mr Andy Horwood) Regis House 151 Great North Road Eaton Socon Proposal to install New Packaged gas cooler and New External Canopy	Approve	Within a sustainable location.
S14 S15	22/02097/FUL 22/02098/LBC	Mr Alex Sharp 23 High Street St Neots PE19 1BU Residential conversion of the ground and first floors of rear extension, erection of additional storey above the rear extension internal alterations of the first and second floor to form 3 flats	Approve	Minimum impact on neighbours. Satisfactory proposal in terms of scale and pattern of development.

Committee Chairperson

Development Management Committee



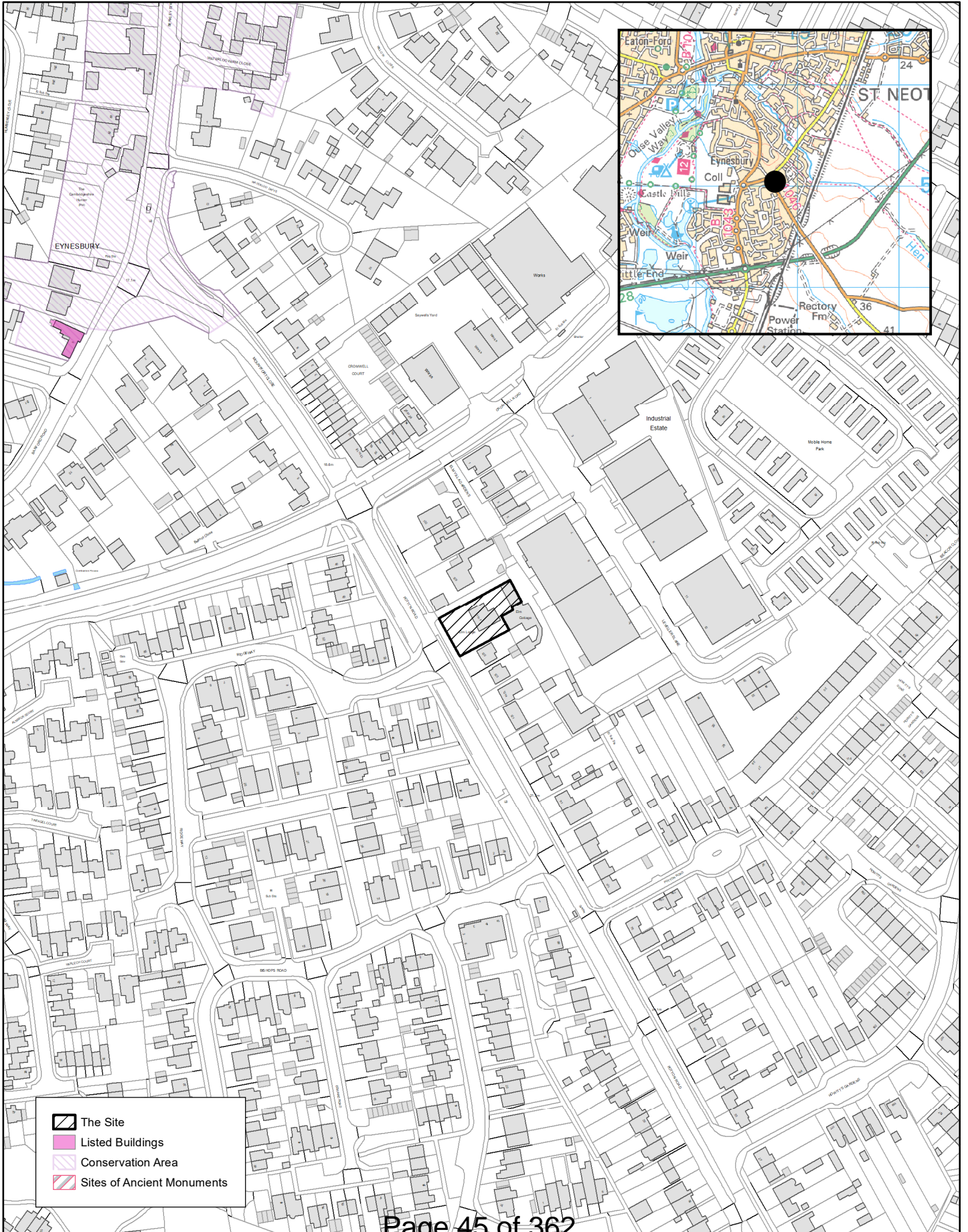
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Application Ref:22/01977/FUL

Date Created: 09/04/2024

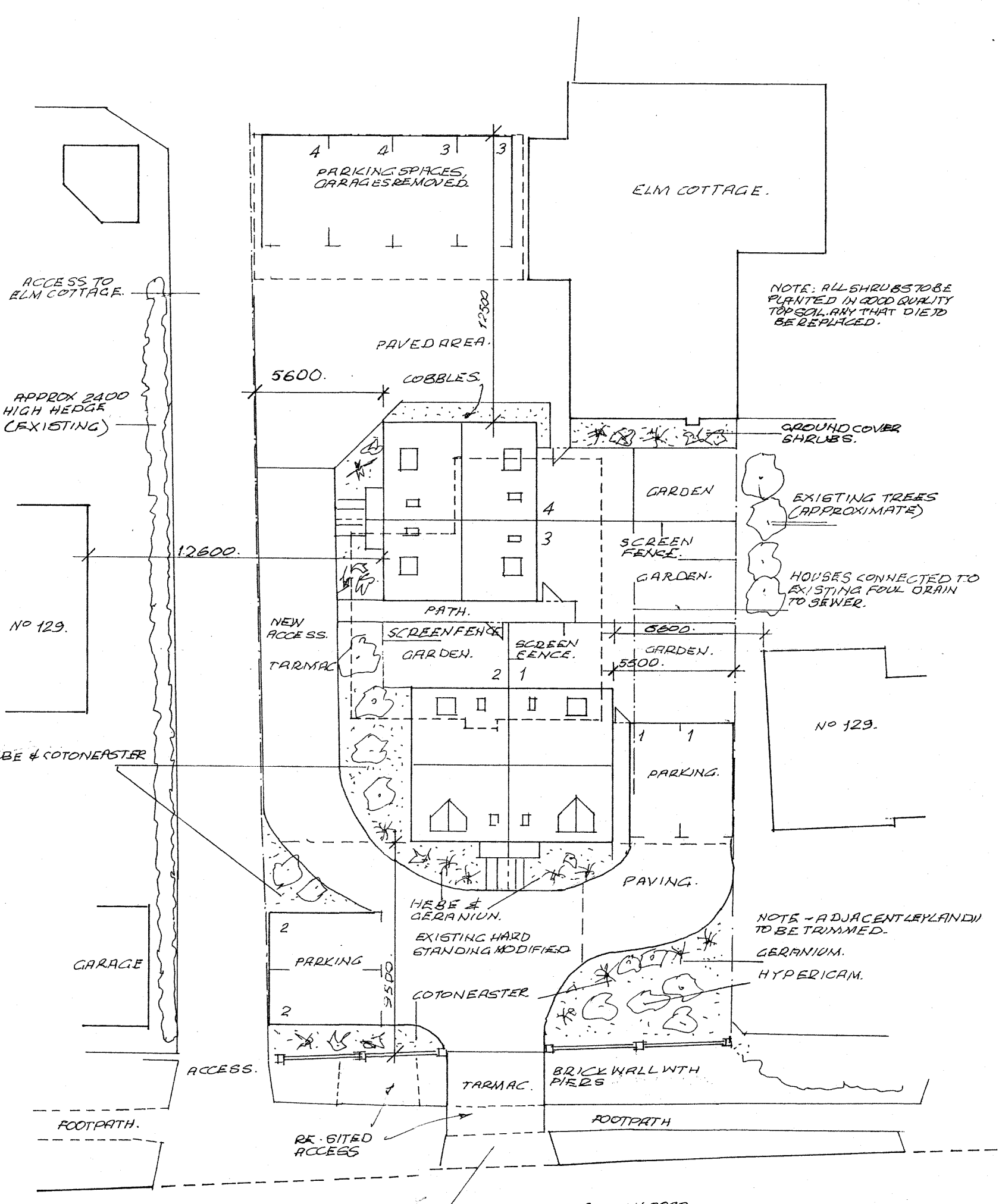
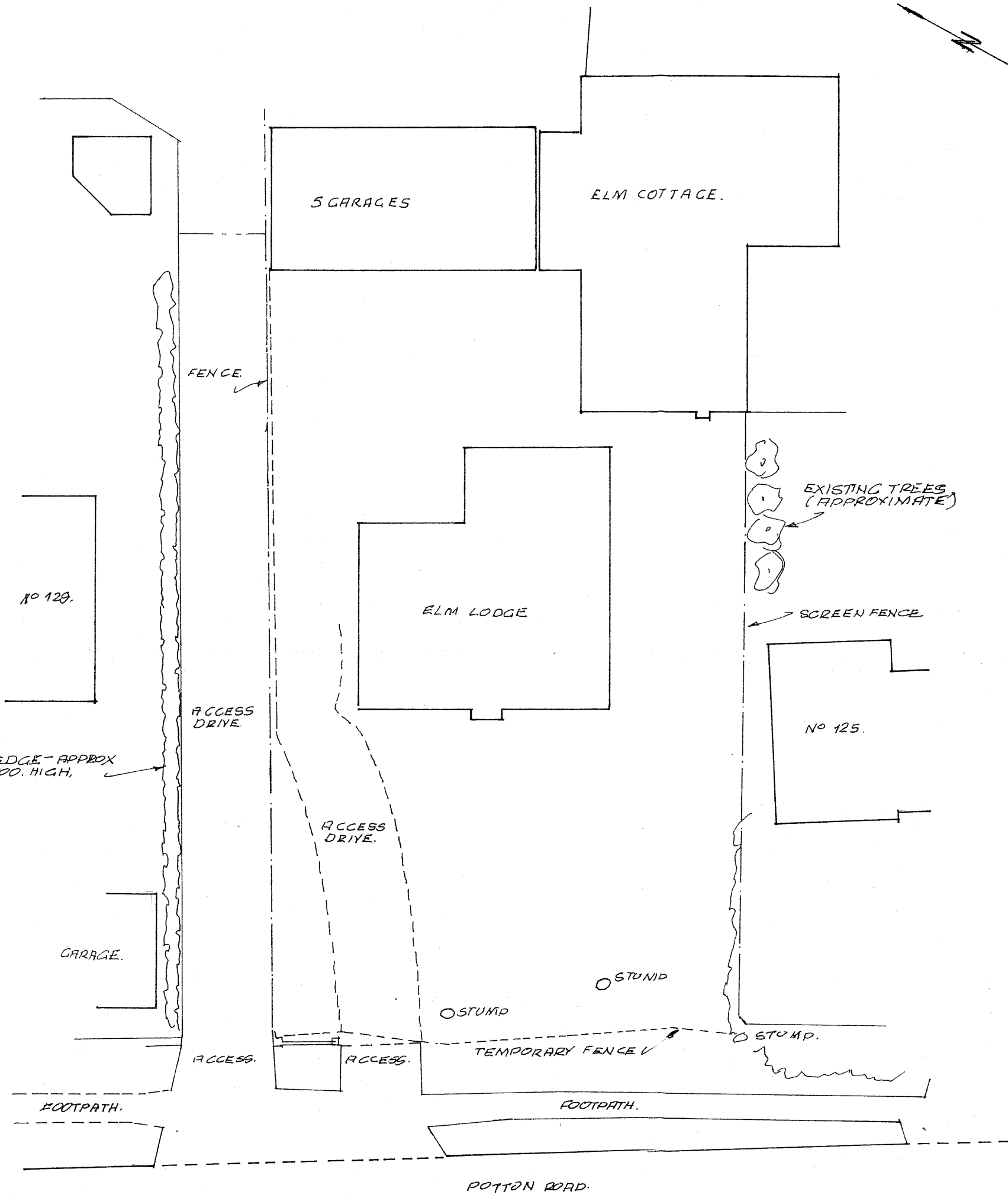
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Location Plan

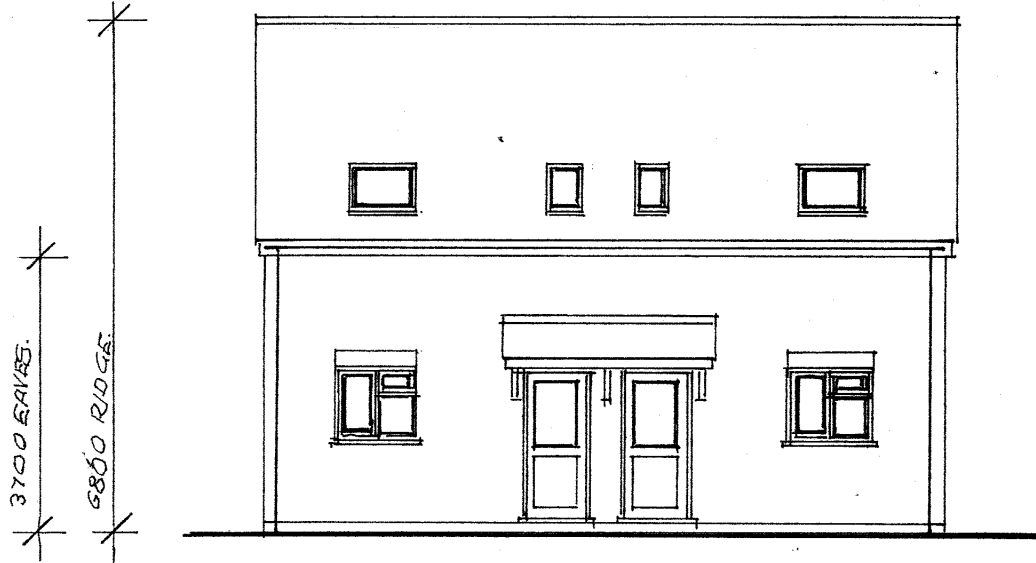




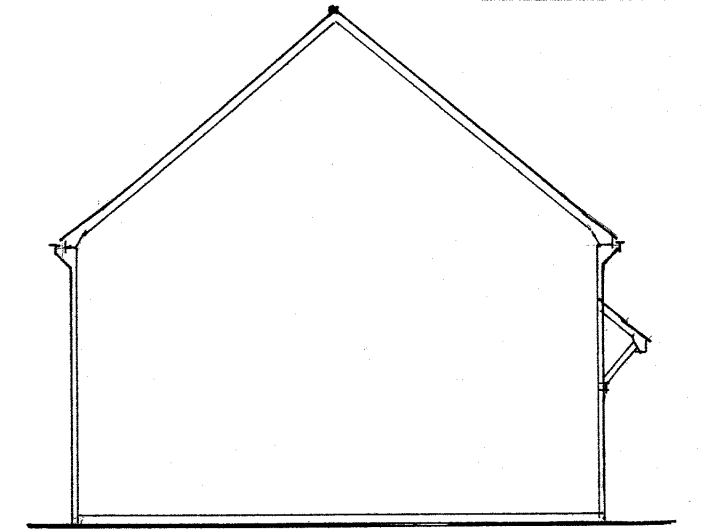
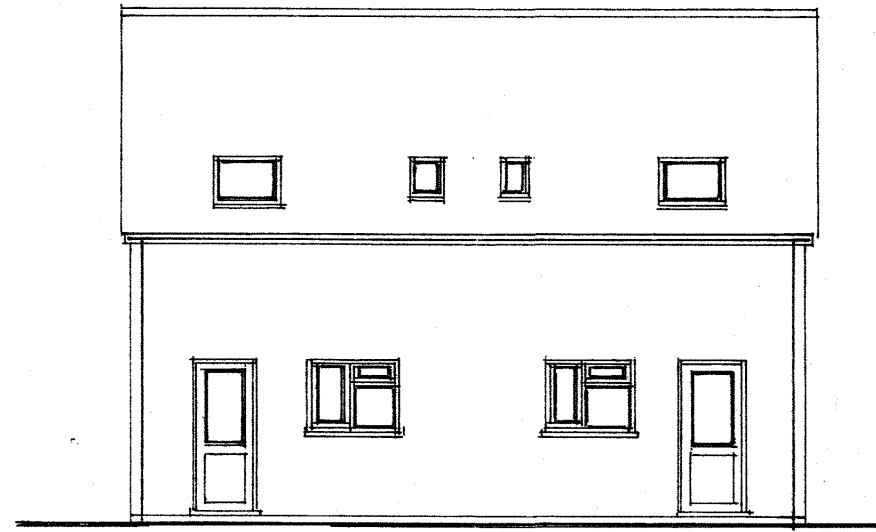
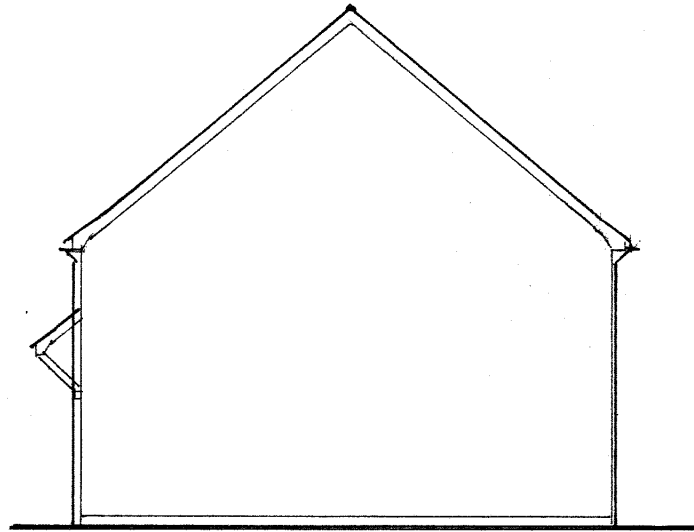
PROPOSED.
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REVISED PROPOSALS, RESIDENTIAL DEVELOPMENT,
 ELM LODGE, POTTON ROAD, EYNESBURY, CAMBS,
 SITE PLANS,
 SCALE 1:200.
 DW 4-82.

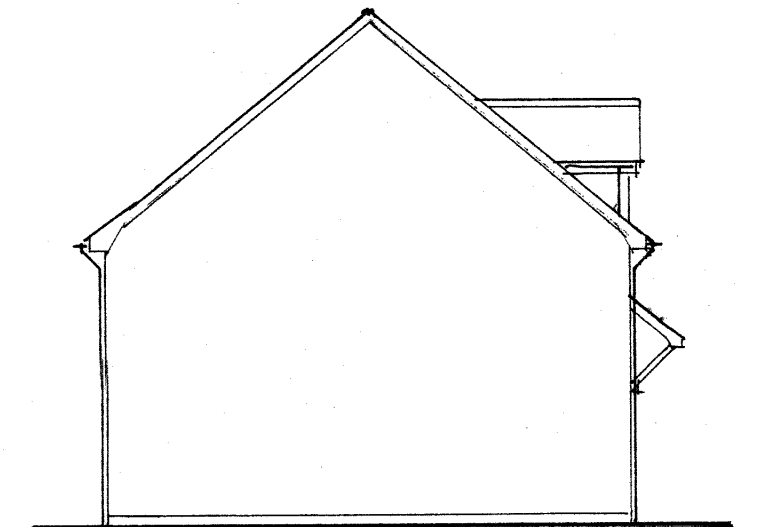
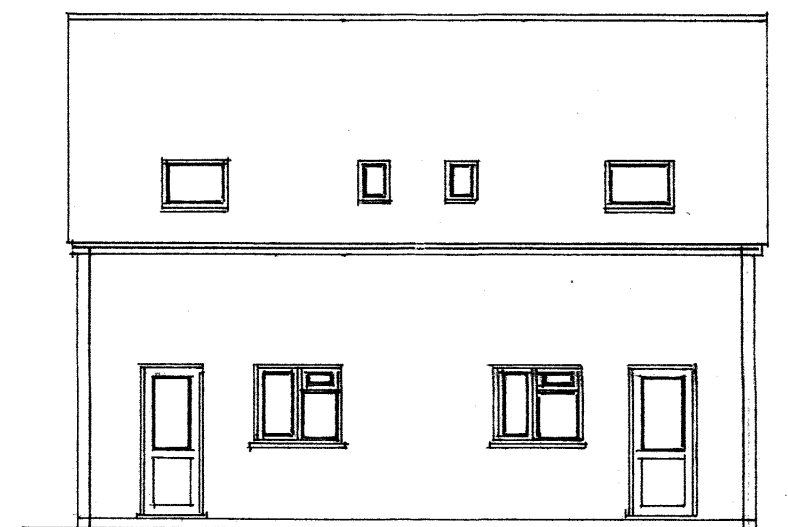
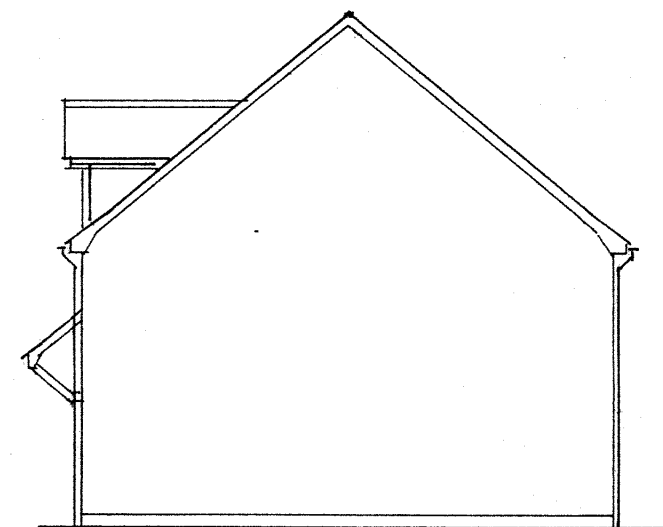
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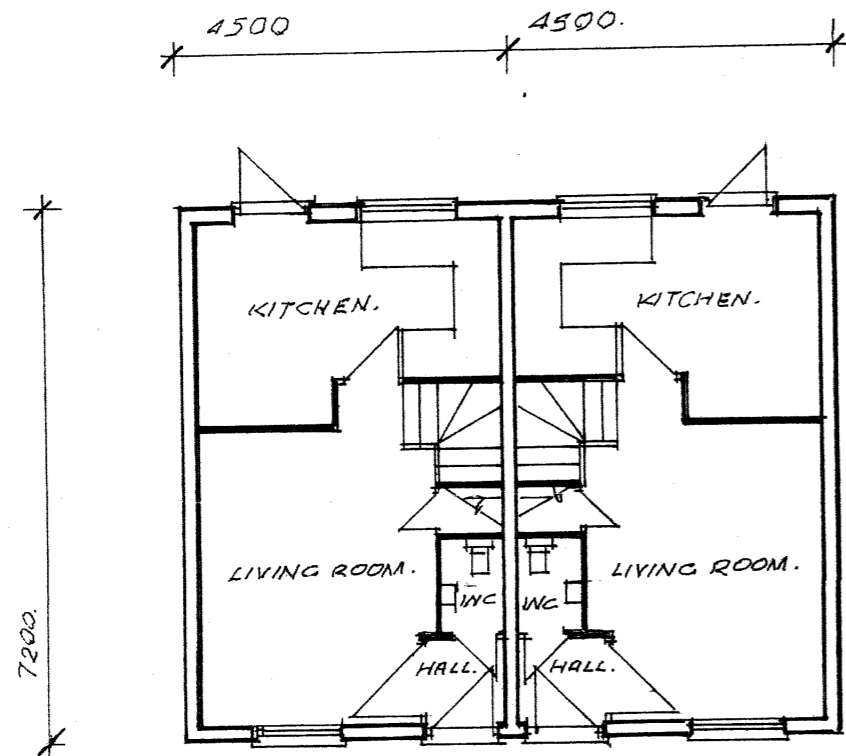
PLOTS 3 & 4.



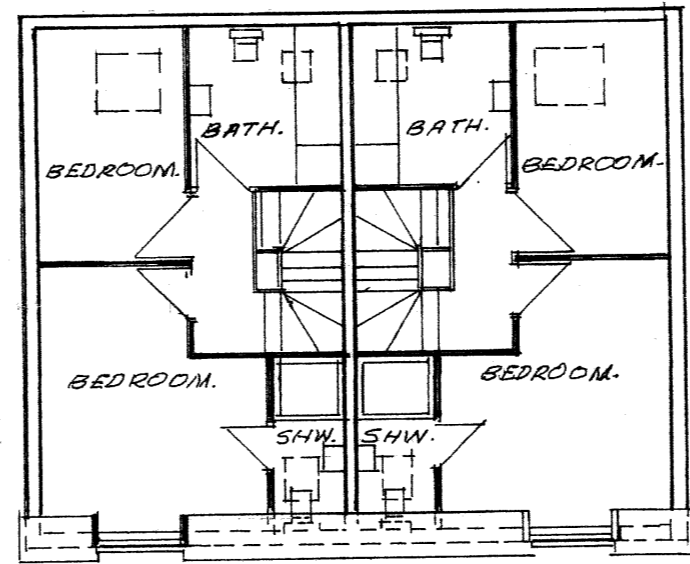
PLOTS 1 & 2. DIMENSIONS AS PLOTS 3 & 4.



REVISED PROPOSALS, RESIDENTIAL DEVELOPMENT.
 ELM LODGE, POTTON ROAD EYNESBURY, CAMBS.
 ELEVATIONS.
 SCALE 1:100. DWS. 22.



GROUND FLOOR.



FIRST FLOOR.

REVISION.
OVERALL DIMENSIONS ADDED.

REVISED PROPOSALS, RESIDENTIAL DEVELOPMENT,
ELM LODGE, POTTON ROAD, EYNESBURY, CAMBS.
FLOOR PLANS.

SCALE 1:100.

DWG 22.

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DEVELOPMENT MANAGEMENT COMMITTEE 22 APRIL 2024

Case No: 19/01320/S73
19/01341/OUT

Proposal: 19/01320/S73 – Variation of conditions 1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 18, 20, 24, 26 and 28 for application 1201158OUT - Amended wording (see covering letter, appendix 1)

19/01341/OUT – Outline planning permission (all matters reserved) for a mixed-use phased development to include - residential development of up to 1,500 dwellings (C2 and C3), local centre including retail and community facilities (A1-A5 and D1), primary school, open space, play areas, recreation facilities, landscaping, associated demolition, ground works and infrastructure.

Location: Alconbury Weald, Ermine Street, Little Stukeley

Applicant: Urban&Civic (Alconbury) Ltd (Mr Joe Dawson)

Grid Ref: (E) 519923 (N) 276954

Date of Registration: 04/07/2019

Parish: The Stukeleys

RECOMMENDATION –

In respect of both applications, delegated powers to **APPROVE** subject to conditions and completion of a S106 agreement, and minor revisions to the Key Phase A Design Code forming part of Application ref. 19/01341/OUT.

OR

REFUSE in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

This application is referred to the Development Management Committee (DMC) because the contributions required within a S106 agreement exceed £100,000, and the officer recommendation of approval is contrary to the Parish Council objections.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 Application 19/01341/OUT seeks permission for up to 1500 dwellings, a local centre comprising up to 2000m² retail and community floor space,

land and contributions towards education provisions, and associated infrastructure, including roads and open spaces. The application is in outline form with all matters reserved, though notes the access into the site would be from a route approved as part of the wider Alconbury Weald development that runs to the east of the application site and adjoins the A141. Alongside the overall principle, the application also seeks to set the parameters of Key Phase A (KPA), and the following details have been submitted that specifically relate to that phase;

- Design Code and Regulatory Plan
- Key Phase Transport Assessment
- Key Phase Travel Plan

- 1.2 Application 19/01320/S73 seeks to revise the wider Alconbury Weald Consent (ref. 1201158OUT; the “2012 permission”; copy of Decision Notice at Appendix A) in order to ‘white land’ an area of the 2012 permission which reflects the land associated with application 19/01341/OUT. The ‘white land’ results in removal of this area from the Alconbury Weald permission with the parameter plan(s) updated accordingly. The purpose of this S73 application is to preclude an issue of overlapping consents in the event application ref. 19/01341/OUT is granted permission. In addition, it proposes associated revisions to the conditions, set out in Appendix B to this report, as necessary to accommodate the outline application and to reflect the current position of the development where conditions have been discharged.
- 1.3 Grange Farm, which application 19/01341/OUT relates to, comprises approximately 77 hectares of land located outside the existing built up area. The existing site is largely agricultural, with a small complex of employment uses and a dwelling located somewhat centrally. The site comprised part of the area of land indicated to provide open space and further education and sport facilities, as shown on the parameter plan under the 2012 permission. To the east is a train line, with agricultural fields beyond, and to the west is an area of agricultural land and the village of Great Stukeley, including the hamlet of Green End.
- 1.4 Grange Farm is located entirely within Flood Zone 1, at the lowest risk of flooding from river sources, but with an area at risk of surface water flooding located centrally along the existing drain and surrounding the Spinneys, three woodland blocks protected by Tree Preservation Orders (TPO). To the north of Grange Farm is Prestley Wood, a Scheduled Monument (SM) also covered by a TPO, and to the east is the Stukeley Railway Cutting Site of Special Scientific Interest (SSSI).
- 1.5 The site is generally flat, with some minor variation in ground levels within the centre and eastern edge along the railway. It is largely open agricultural land, with limited vegetation outside the Spinneys woodland blocks. Public Rights of Way (PROW) 230/10 and 230/11 run east-west across the site.
- 1.6 The wider Alconbury Weald site also lies within Flood Zone 1, with areas at higher risk of flooding from surface water located sporadically across its extent, but predominantly around areas of historic hardstanding or around existing watercourses. There are 4 no. listed buildings, including the Grade II Watch Office, the Grade II* Avionics Building and pair of Grade II* Hangars. To the north of the site are the hill Wood and Long Coppice County Wildlife Sites, and the Little Less Wood County Wildlife Site (CWS).

- 1.7 The site forms the eastern part of the strategic expansion location Former Alconbury Airfield and Grange Farm, allocated under policy SEL 1.1 for, amongst other things;
- 5000 dwellings (including support housing and specialist accommodation)
 - 290,000m² business floor space
 - 7000m² retail floor space
 - Education and community facilities
 - Indoor and Outdoor sports facilities
 - Strategic Green Infrastructure
 - Transport Infrastructure Improvements
- 1.8 For context, the 2012 permission works on the basis of three tiers of proposal. The overarching 2012 permission itself, together with a number of documents that form strategies to control the development on a site wide basis comprise tier 1. Tier 2 incorporates each Key Phase proposals, which includes, among other elements, the quantum of development of that Phase, the Design Code, transport mitigation proposals and details of the any triggers that will be met within that Key Phase. Application 19/01341/OUT is proposed to follow the same arrangement and includes the Tier 1 documents and Tier 2 documents for Key Phase A (KPA) of that application.

2. NATIONAL GUIDANCE AND POLICY AND RELEVANT LEGISLATION

- 2.1 The National Planning Policy Framework 2023 (NPPF) sets out the three economic, social and environmental objectives of the planning system to contribute to the achievement of sustainable development. The NPPF confirms that 'So sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development...' (para. 10). The NPPF sets out the Government's planning policies for, amongst other things:
- delivering a sufficient supply of homes;
 - achieving well-designed places;
 - conserving and enhancing the natural environment;
 - conserving and enhancing the historic environment.
- 2.2 The National Planning Practice Guidance (NPPG), the National Design Guide 2019 (NDG) and the Noise Policy Statement for England (NPSE) are also relevant and a material consideration.
- 2.3 For full details visit the government website [National Guidance](#).
- 2.4 Relevant Legislation;
- Planning and Compulsory Purchase Act 2004
 - Town and Country Planning Act 1990 (as amended)
 - Planning (Listed Buildings and Conservation Areas) Act 1990
 - Ancient Monuments and Archaeological Areas Act 1979

3. LOCAL PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP1 Amount of Development

- LP2 Strategy for Development
- LP3 Green Infrastructure
- LP4 Contributing to Infrastructure Delivery
- LP5 Flood risk
- LP6 Waste Water Management
- LP7 Spatial Planning Areas
- LP10 The Countryside
- LP11 Design Context
- LP12 Design Implementation
- LP13 Placemaking
- LP14 Amenity
- LP15 Surface Water
- LP16 Sustainable Travel
- LP17 Parking Provision and Vehicle Movement
- LP19 Rural Economy
- LP22 Local Services and Community Facilities
- LP23 Tourism and Recreation
- LP24 Affordable Housing Provision
- LP25 Housing Mix
- LP29 Health Impact Assessment
- LP30 Biodiversity and Geodiversity
- LP31 Trees, Woodland, Hedges and Hedgerows
- LP32 Protection of Open Space
- LP34 Heritage Assets and their Settings
- LP36 Air Quality
- LP37 Ground Contamination and Groundwater Pollution
- SEL1.1 Former Alconbury Airfield and Grange Farm

- 3.2 The Stukeleys Neighbourhood Plan
- Policy 1 – Definition of ‘Built-Up Area’ (Settlement Boundary)
 - Policy 3 – Strategic Development Delivery
 - Policy 4 – Community Engagement
 - Policy 5 – Community Facilities
 - Policy 6 – Local Green Space
 - Policy 7 - Green Infrastructure Network in Alconbury Weald

- 3.3 Supplementary Planning Documents (SPD)
- Huntingdonshire Design Guide – Adopted 2017
 - Cambridgeshire Flood and Water SPD – Adopted 2017
 - RECAP Waste Management Design Guide (CCC SPD) – Adopted 2012
 - Developer Contributions – Adopted 2011 (Updated 2019)
 - Huntingdonshire Landscape and Townscape Assessment – Adopted 2022

- 3.4 For full details visit the Council’s website [Local policies](#).

4. PLANNING HISTORY

- 4.1 Officers note there is a significant planning history within the wider Alconbury Weald development. The following are considered to be the most relevant elements of planning history to these proposals.

- 4.2 1201158OUT - Up to 290,000 sqm of employment floor space, including data storage and a materials recovery demonstration centre and up to 5,000 dwellings, including sheltered/extra care accommodation; a mixed use hub and mixed use neighbourhood facilities, including retail, commercial, leisure, health, place of worship and community uses; non-residential institutions including primary schools, nurseries, a secondary school and land reserved for post 16 education provision; open spaces, woodlands and sports provision; retention of listed buildings; new vehicular access points from Ermine Street and the A141, with other new non-vehicular access points; associated infrastructure; reserve site for a railway station and ancillary uses; and associated demolition and groundworks. Approved. 01/10/2014.
- 4.3 1408820COND – Key Phase 1 Definition – Alconbury Weald – Condition information for 1201158OUT – C7, C8, C9, C17, C21, C27 and C28. Approved. 08/12/2014.
- 4.4 17/80028/COND – Condition information for 1201158OUT – Submission of Updated Key Phase 1 Definition and Key Phase 1 Framework Pursuant to the Requirements of Outline Conditions 9 And 10. Approved. 20/04/2017.
- 4.5 19/80094/COND – Conditional Information for 1201158OUT: Condition 9: Amended Key Phase 1 definition. Condition 10: Amended Key Phase Framework a) Design Code b) Indicative Sequencing Plan c) Archaeological Investigation d) School Site Plan e) Key Phase Transport Assessment f) Key Phase Travel Plan & Mitigation Strategy g) Delivery Plan h) Site Wide Strategy Supplements (Water, Ecology & Code of Construction Practice) and i) Sustainability Statement. Approved. 17/11/2020.
- 4.6 22/00754/NMA – Application for Non-Material Amendment to 1201158OUT - Revise Parameter Plan and Development Specification to (i) Relocate 'The Hub' within the site, (ii) Expand open space adjacent the secondary school and relocate employment floorspace to other parts of the Enterprise Zone and (iii) Adjust indicative locations of second and third primary schools, together with associated amendments to Conditions 4, 14, 24 and 26 to update the drawing reference of the Parameter Plan. Approved. 01/06/2022
- 4.7 22/80374/COND – Discharge of condition 10 (Key Phase 3 Framework) for 1201158OUT. Pending Consideration.
- 4.8 23/80349/COND – Discharge of condition 10 (Key Phase 2 Framework) for 1201158OUT. Pending Consideration.
- 4.9 18/01577/REM – Submission of reserved matters (appearance, access, landscaping, layout and scale) in respect of the construction of a new access junction from the A141 including drainage and associated works. Approved. 08/04/2021.
- 4.10 18/02275/REM – Reserved matters (appearance, access, landscaping, layout and scale) in respect of the construction of a new highway to form part of a link from the A141 to key phase 1 and all associated works (route part A). Approved. 22/12/2021.

5. CONSULTATIONS

- 5.1 For the avoidance of doubt, the comments below have been summarised in respect of both applications, as these have generally aligned across the two submissions.
- 5.2 The Stukeleys Parish Council (copy attached) – Objection. The Parish Council would wish to engage with the developer and HDC to explore other options that will protect the separation of Alconbury Weald from Huntingdon and enable a meaningful country park. While the principle of development south of Grange Farm is acceptable, the extent and format are reliant on clarification on the A141 alignment and the parameters of the Country Park.
- 5.3 Huntingdon Town Council – Recommend approval.
- 5.4 St Ives Parish Council – Recommend approval. The Framework Travel Plan indicates a bus service between St Ives and the Development site. This should be in addition to, and no impact upon, the existing bus service to Huntingdon.
- 5.5 Alconbury Parish Council – No comments.
- 5.6 Peterborough City Council – No comments.
- 5.7 Fenland District Council – No comments.
- 5.8 Central Bedfordshire Council – No objection.
- 5.9 HDC Waste – It is positive to see waste storage, collection and access is being considered throughout in line with HDC's requirements.
- 5.10 Internal Drainage Board – No comment. The site lies outside the Boards district.
- 5.11 Cambridgeshire Fire & Rescue – No objection subject to securing a scheme for the provision of hydrants through S106 agreement or planning condition.
- 5.12 CCC Local Highway Authority (LHA) – Comments regarding the specification required to meet adoptable road standard. The submitted documents contain several principles and details that would be unacceptable within adoptable streets. The future maintenance of the public realm needs to be considered and the LHA cannot accept additional maintenance burdens beyond those associated with a traditional road system. The LHA is not in a position to adopted SUDS infrastructure, areas that serve no highway function or materials with a higher maintenance cost. Incorporation of details within the Design Code will not be seen as binding on the LHA for adoption purposes, and where any proposed design does not meet adoptable standards, it will prevent the LHA adopting the highway.
- 5.13 CCC Transport Assessment Team – No objections. The submitted models are agreed. Several mitigation measures have been identified which are required to accommodate the development in terms of the capacity of the transport network. It is anticipated these will be delivered at set trigger points expressed as Development Unit Equivalent (DUEs),

a methodology that takes into consideration trips from each use class proposed, and which reflects the approved methodology agreed on Alconbury Weald. Given Key Phase 1 of Alconbury Weald and Grange Farm could be built in tandem, the mitigation should be considered together. It is recommended the mitigation is secured within a Section 106 Agreement.

Corridors are shown that would safeguard land for the A141 and which have been agreed with the A141 and St Ives project teams. The corridors represent the land required to deliver a scheme formed of a dual carriageway and segregated active travel route and has considered landscaping and noise protection. The Transport Assessment Team are satisfied the corridor appropriately safeguards land which could be required to deliver the A141 to St Ives project.

- 5.14 National Highways – No objection. The proposed variations do not have a material impact to the current or future occupation of the Strategic Road Network.
- 5.15 Cambridgeshire Constabulary – At present this is a location with a low vulnerability to crime. At this early stage there is no specific Security or Crime Prevention section in the submitted statements. They should be considered and discussed at an early stage in the design process to gain the most benefit.
- 5.16 CCC Lead Local Flood Authority (LLFA) – No objection. The submitted documents demonstrate that surface water from the proposed development can be managed through the use of cascading attenuation features. The surface water scheme has been designed in line with Alconbury Weald. While this is a strategic outline application, attenuating the relevant impermeable areas for designated parcels it is expected that individual parcels coming forward will include additional source control features. Conditions are recommended requiring details of a strategic surface water drainage strategy, and that all reserved matters applications include a detailed surface water drainage strategy, that surface water infrastructure works are completed in accordance with the site wide strategy, that details of any temporary surface water storage is submitted and approved and that an independent review of any completed surface water drainage scheme is carried out to ensure it is fully functional. No objections to the variation to the wording of condition 5 on the extant outline.
- 5.17 CCC Definitive Maps Team – No objection subject to conditions. Public Bridleway no. 10 crossing the access will need to be diverted prior to substantial completion of the development. Public Footpath no. 11 will require diversion where it intersects with Grange Farm and it is requested this is upgraded to a Public Bridleway. Greater detail on plans will be required including alignment, legal status, surfacing, widths, gradients, landscaping and detail of any structures required. A condition is recommended that these details are required prior to the commencement of development.
- 5.18 HDC Tree and Landscape Officer – The applications are supported in principle. It is recommended that additional hedge planting is added to edge planting type 4B, and that reference to best practice is made within the Design Code regarding soil volume and structure for trees located in challenging locations.

- 5.19 HDC Conservation Officer – No objection. The development is close to the Scheduled Ancient Monument of Prestley Wood to the north, the Grade II Listed Torkington House to the west and a field of Ridge and Furrow earthworks to the southwest. The development may have an impact on the setting of the Scheduled Ancient Monument, which will be assessed by Historic England, but would not adversely impact the listed building or earthworks. It appears the main impact would be to archaeological deposits.
- 5.20 Wildlife Trust – No objection. Support the principles outlined in the ecological mitigation, habitat creation, management and monitoring. It is noted the proposed development significantly reduces the overall ability of Alconbury Weald to create habitat and provide green infrastructure. As the latest Biodiversity Net Gain calculation has not been provided and it is not possible to confirm whether there are any concerns. It is considered likely a small net gain can be achieved.
- 5.21 Sport England – It is noted the proposed development includes community sport provision on the edge of the proposed country park which will help meet demand for formal sport facilities generated by the development. These pitches should be served by ancillary changing facilities. A condition is recommended requiring the full specification of sports facilities is agreed to ensure they are sufficient to meet the identified need.
- 5.22 Historic England – The development is within the setting of Prestley Wood Scheduled Monument and proposes a country park to soften the impact to the heritage asset and the implementation of a management plan to integrate it into the public open space. The proposed development will result in a material erosion of the setting of the heritage asset but would result in an improved management of the site, protecting its fabric, enhancing its legibility and giving informed public access. It is considered the proposal would result in a moderate degree of harm to the setting of the heritage asset, but this should be weighed against the positive public benefits of the proposal, including the heritage benefits from the future maintenance of the scheduled monument.
- 5.23 Environment Agency (EA) – No objection. EA are satisfied the development could be allowed in principle, but further information will be required to demonstrate the development does not pose an unacceptable flood risk too users. Conditions are recommended requiring submission of a foul water strategy and phasing plan, that reserved matters submission include a detailed foul water drainage scheme, and that the proposal complies with the optional water efficiency standard under within building regulations part G.2. It is recommended the conditions recommended by the LLFA are incorporated into the mitigation measures within the flood risk assessment. Conditions will be required to demonstrate the proposal will not result in an increased risk of flooding to the East Coast Mainline or to the watercourses it discharges into.
- 5.24 Natural England – No objection subject to the ecological mitigation and management proposals being secured through appropriate mechanisms. Referred to standing advice in respect of conditions 6, 8 and 24 on the extant outline.

- 5.25 HDC Urban Design Officer – No objections in principle. It is noted there is an error in reference to the primary schools. It is recommended that the Grange Farm Design Code is amended to add a new illustration to support the design aspirations of Street type B at figure 4g and references revised to reflect design aspirations of parking typologies. Relevant references to parking typologies serving flat types F1 and F2 should be added.
- 5.26 NHS – The proposal would result in a requirement of an additional 309m² of floorspace to meet the needs arising from the development, to be incorporated into the secured provision within Alconbury Weald. A contribution of £1,875,012 is required to deliver the additional space, together with land to expand the secured provision.
- 5.27 MHCLG Planning Casework Unit – No comments.
- 5.28 CPRE – Objection. Alconbury Weald should remain as a freestanding settlement, and the proposed development would result in a coalescence that would undermine that separation as well as the separation from Great Stukeley. The development will result in long term damage to the character of north Huntingdon and the nearby villages. CPRE is concerned about the impact of traffic generation on local communities. Consideration of the development should be deferred until the outcome of the East-West Rail infrastructure project is understood and it has been demonstrated there is adequate capacity to accommodate the development.
- 5.29 Anglian Water – No objection. Support the proposed strategy within the submitted documents to manage foul water flows and subject to a condition seeking a detailed scheme for on-site foul water drainage works prior to the development of 1000 dwellings.
- 5.30 CCC Archaeology – No objection subject to securing the proposed investigation and assessment through condition.
- 5.31 HDC Housing Officer – No objection in principle. It is noted the application mentions viability testing, and it is hoped this would result in higher levels of Affordable Housing than has been delivered thus far.
- 5.32 HDC Environmental Health – It is considered the development would not lead to a breach of national objectives or an unacceptable risk of air pollution. However, the impacts of air quality should be minimised and consideration should be given to good design and good practice measures to reduce air quality. No reference has been made to the impacts of the rail line. As the application is in outline no detailed design proposals are available to assess in respect of plant at this stage. Properties will be required to accord with HDC standards for internal and external noise. While the application indicates it will be possible to achieve these standards there is information required within the submitted ES to confirm this. A lighting scheme would be required with any reserved matters, including specifications of any floodlighting. It is noted there is security lighting on buildings at Grange Farm that will need to be taken into account in future designs. Recommend conditions requiring further contaminated land investigation, compliance with noise levels, requiring detailed lighting schemes, a construction environmental management plan and setting out construction hours. Further

information is required in respect of sound level contours and the impact of the rail line.

5.33 Network Rail – Note condition 31 applied to the outline consent in respect of Network Rail requirements and assume that remains in effect in respect of the development. No further comments.

5.34 CCC Education – The proposal will result in additional need for education places beyond the secured provision within the 2012 permission. Contributions to accommodate the increase residential development will be needed on the following basis;

Education type	Contributions	Land
Primary School	£11,685,000	None
Secondary School	£12,232,878	+1.87ha on Alconbury Weald
+16	£2,201,904	None
Special School	£1,202,166	None
Total contributions	£27,321,948	

5.35 Cadent Gas Protection – A high or intermediate pressure pipeline and associate equipment has been identified within the site. It is recommended further comment is awaited from the Pipelines Team. Recommended notes to applicant regarding their responsibilities.

6. REPRESENTATIONS

6.1 12no. representations received to application 19/01341/OUT (11no. objections, 1no. neutral representations), raising the following summarised material points;

- The proposal will result in the loss of open space within the future country park.
- There is insufficient infrastructure in Huntingdon to support the needs of this development and others in the area.
- There is a significant increase in housing within the Green Corridor that was part of the original application to ensure settlements continued to remain separate.
- The country park is an important feature to retain the independence and integrity of existing communities.
- The proposed development will result in additional pressure to the existing amenities in the area.
- There are insufficient employment opportunities available for future occupants of the proposed development.
- The proposed development will result in a significant increase in traffic above the capacity of the existing road network.
- The proposal does not sufficiently provide for renewable energy sources.
- Concerns there will be an increase in crime and anti-social behaviour.
- The proposal reduces the green connectivity around and through the site.
- There is no certainty the proposal will be able to ensure protection of habitat and protected species.
- There are alternative brownfield sites that should be prioritised for development first.

- The proposed sport facilities are unnecessary as there are already adequate sport facilities in the area.
- The development will result in the loss of attractive landscape.
- The proposal will result in an increase of noise pollution from traffic and activity.
- The rural roads within the area are not suitable for the amount of additional traffic that would be generated.
- There is a lack of affordable housing for first time buyers.
- The increased vehicle movement will result in reduced safety for other road users in the area.
- The proposal will result in the loss of the bridleways and footpaths through the site.
- The loss of the country park will result in adverse impacts to the health of local residents through lack of attractive space to exercise.
- The proposal will lead to increased emissions that adversely affect air quality, and further mitigation is required to alleviate the effects.
- There is insufficient road access to the site which makes Ermine St the major thoroughfare causing significant traffic impact that will be made worse by this development to the detriment of highway safety and causing congestion.
- Local infrastructure will not be able to cope with the additional increase as services are already at full capacity.
- There will be a significant impact on local wildlife through reduction in natural habitat.
- There will be an increase in noise and air pollution.
- There will be an unacceptable impact on the Schedule Monument of Prestley Wood through development in its setting.

6.2 2no. representations received to application 19/01320/S73 (2no. objections), raising the following summarised material points;

- Concerns regarding the level of traffic generated and the impact to surrounding roads.
- The proposal would result in the loss of Bridleways through the site.

6.3 The following points have been raised across both applications that are not material considerations. Officer notes are *italicised* for explanation where necessary;

- Potential future proposals.
- Civil matters between relevant parties.
- Matters covered by other legislation.
- Potential damage to neighbouring property.
- Queries regarding the site address. (*Officer note: the site address is a broad description of location and is not to be taken as a definitive description of the site location.*)
- Comments regarding the reason for or timing of the submission of the application.
- There will be a loss of Green Belt (*Officer note: for the avoidance of doubt, there is no designated Green Belt within the District. The consideration to landscape character has been set out below.*)
- There has been insufficient public consultation on the application. (*Officer note: the application has been subject to consultation in accordance with the Council's Statement of Community Involvement and relevant statutory requirements.*)

7. ASSESSMENT

- 7.1 The main issues to consider in the determination of this application are:
- Principle of Development
 - Landscape Character
 - Design and Character of Built Form
 - Housing Mix
 - Transport and Highway Impacts
 - Safeguarding of Land for the Realigned A141
 - Ecology and Biodiversity
 - Drainage and Flood Risk
 - Heritage Impacts
 - Impacts to Neighbouring Amenity
 - Contamination and Air Quality
 - Amenity and Health of Future Occupants
 - Other Matters
 - Contributions
- 7.2 The starting point for proposals, in accordance with section 38(6) of the Planning and Compulsory Purchase Act 2004 is that developments shall be determined in accordance with the Development Plan unless material considerations indicate otherwise.
- 7.3 While the sections below generally approach the applications together, it must be noted that application 19/01320/S73, as an application under Section 73 of the Town and Country Planning Act 1990, can only consider the proposed changes to the conditions, and cannot apply further requirements not relevant to the original determination. It is not open to the Council to apply further conditions where there have been changes in policy circumstances that would require additional details or compliance with certain standards if those policy requirements were not in place at the time of the original decision. Where this is relevant to the matters for consideration, this is set out in the relevant section.
- 7.4 For the avoidance of doubt, as this application was submitted prior to the 1st September 2020, it is covered by the transitional arrangements under regulation 4 of the Town and Country Planning (Use Classes) (Amendment) (England) Regulation 2020. The application must therefore be assessed and determined based on the Use Classes as they were on 31st August 2020.

Environmental Statement

- 7.5 These applications are “EIA Development” in accordance with the Town and Country Planning (Environmental Impact Assessment) Regulations 2017 (EIA Regulations) and are accompanied by an Environmental Statement (ES). The ES was formally scoped by the LPA in January 2018 for a materially similar development. The full ES has been subject to formal consultation as part of the consultation on this application and as part of subsequent consultations on amendments.
- 7.6 The ES comprises 3 parts. Part 1 is the Environmental Statement itself. Part 2 is the associated figures and appendices. Part 3 is a non-technical summary. The ES addresses a number of matters, including those under the following headings;
- Socio-Economic Effects

- Landscaping and Visual Effects
- Ecology and Nature Conservation
- Agriculture and Soils
- Trees and Woodland
- Archaeology and Cultural Heritage
- Transport
- Air Quality
- Noise and Vibration
- Hydrology, Flood Risk and Drainage
- Lighting
- Ground Conditions

7.7 The provisions of the ES have been assessed within the relevant sections in the report below. As part of the consultation, sections of the ES have been reviewed by relevant specialist consultees, considered to be sufficient to meet the requirement as of Regulation 4 of the EIA Regulations that require an LPA to have access, as necessary, to sufficient expertise to examine the ES.

7.8 It is for the LPA to ensure that through the development management process the mitigation recommended in the ES is implemented and managed.

Principle of Development

7.9 The two applications fall within the defined boundaries of allocation SEL1.1, where the principle of development is considered to be generally established as part of the strategy to meet the housing needs of the district. On that basis, it is considered the location of the development is acceptable in principle.

7.10 In respect of the principal matter of amount of development, in relation to the total number of dwellings proposed within the allocation, it is noted that the proposed additional 1500 dwellings would be far in excess of the allocation, which reflects the 2012 permission at 5000 dwellings. Para. D.8 of Huntingdonshire's Local Plan to 2036 states that a 10% tolerance either side of the approximate figures stated within allocations is considered generally acceptable. However, para. 9.11 in the supporting text to allocation SEL1.1 specifically notes that the allocation has regard to the original planning application but continues that the overall capacity of Alconbury Weald is considered to be greater with potential of up to 6500 dwellings, subject to detailed capacity studies. The total proposed number of dwellings would accord with this point.

7.11 In the main, officers consider the primary consideration in respect of the principle of the development is that the site itself falls within the allocation, as the number proposed is generally indicative. The allocation stage does not include a full site-specific capacity test, and so numbers are based on broad, high-level capacity testing than would be required as part of any planning application. Noting that it was expected additional capacity would be available and that a specific comment to that effect was including in the supporting text for this allocation alone, officers consider the total 6500 dwellings across the allocation is considered acceptable in principle.

- 7.12 In respect of the principle of the use, officers note that, while the site is currently in agricultural use, the 2012 consent indicated the area comprising Grange Farm would include a large area of open space, with the southern area being developed as part of post-16 education provision and sports facilities. The education and sport facilities have been relocated elsewhere in the wider Alconbury Weald site, in order to be more centrally located to the overall site and consolidated with other sport and education uses, as such these uses have not been lost.
- 7.13 The application also includes up to 2000m² of floor space within the local centre, including Use Classes A1-A5 and D2. Policy LP22 supports new local centres where they are of an appropriate scale to serve local needs and comprises up to a maximum of 600m² of main town centre uses. While the total amount of space comprising the local centre is in excess of the 600m² cap it comprises a number of uses that fall outside the defined main town centre uses, and the policy does indicate that any such facility should be appropriately scaled to the community it serves. The supporting text to that policy notes that this may form part of larger mixed-use schemes.
- 7.14 In the context of the scale of this development and noting the equivalent scale of the local centre within wider Alconbury Weald, officers consider the amount of floor space proposed would be appropriate to support the local community created within this development, and while it would be likely that the A1-A5 Class Uses will exceed 600m², this is not considered such a significant scale of use that it would otherwise undermine or conflict with wider retail units in town centres in the surroundings, specifically Huntingdon Town Centre. In addition, noting these applications would represent an uplift in the total development within the site in terms of residential development, and the allocation includes an element of retail use as part of the wider local centre, officers consider that there is support within the allocation to promote appropriately scaled uses within this site in order to support future residents. All that said, it is acknowledged that a largescale retail unit that incorporated the entirety of the 2000m² has a potential to undermine Huntingdon Town Centre as the primary retail destination however, and it is therefore considered appropriate to limit any one retail unit to be no larger than 1500m² in floor space, to reflect the requirements expressed within policy SEL1.1. Subject to such a condition, it is considered the principle of the local centre uses would accord with policies LP22 and SEL1.1.
- 7.15 Development proposals are required to mitigate for their own impacts and cannot be required to go beyond that. In the context of the reduction in area of parkland shown under the 2012 permission this would have resulted in a significant overprovision of open space. The S106 in place as part of that application, and which would be carried across to these applications, would still secure at least policy compliant levels of open space. Officers have considered the plans across both applications together with the existing and future expected open space provisions and consider there is still plenty of space to ensure both applications meet their need with regards to open space. As such, it is considered the use of the site, having regard to the existing and proposed uses, are acceptable.
- 7.16 Application 19/01341/OUT is accompanied by a Development Specification that sets out the maximum quantum of development

across the proposed uses, and which would be subject to a condition to ensure the amount of development does not exceed the maximum parameters assessed. On the whole therefore, and subject to conditions, the principle of development is considered acceptable and in accordance with policies LP1, LP2, LP7, LP22 and SEL1.1.

Landscape Character

- 7.17 The application site is located in the Central Claylands Character Area defined in the adopted Huntingdonshire Landscape and Townscape SPD (LTSPD), and National Character Area 88: Bedfordshire and Cambridgeshire Claylands (NC88). These areas are generally characterised by gently undulating arable land with largescale field patterns. The LTSPD specifically notes there are developments of significant scale located in the area, including Alconbury Weald, and the major transport corridors. The area of the site covered by application 19/01341/OUT is largely in arable use with limited vegetation across its extent, though with the notable exception of the central woodland blocks, the Spinneys.
- 7.18 The LTSPD indicates the area does, and will continue, to face development pressure, and that proposals should seek to protect and enhance areas of ancient woodland and existing hedgerows and retain the characteristic built form of distinctive nucleated villages. It is explicitly noted that proposals should sensitively redevelop redundant airfields reflecting their prominence in local and long-distance views.
- 7.19 Application 19/01341/OUT as been accompanied by a Landscape and Visual Impact Assessment as part of the submitted ES, which has assessed the overall existing landscape quality as low. This is due to the limited vegetation on site and as the only notable features within the boundary are the three woodland blocks, which are covered by a Tree Preservation Order, and there are limited other factors that contribute to the value of the landscape, noting the distance of surrounding heritage assets, the limited and fragmented Public Rights of Way in the site, and the lack of any notable landscape features that are either rare or distinctive to the area.
- 7.20 The Landscape Officer has supported the findings of the LVIA, and officers note no other comments have been received in respect of the site's landscape character value, or the impact of the development on that. It is, however, noted that comments have been received relating to the separation of the development from the Stukeleys, having regard to the 2012 permission which incorporated Grange Farm within the country park, and these are considered later in this section. Comments have also been received regarding the historic value of the landscape in terms of its contribution to surrounding heritage assets, which is assessed elsewhere in this report as part of the consideration of impacts to heritage assets.
- 7.21 In terms of the landscape value of the site, officers consider the ES has accurately identified the landscape value of the site as low. The sites relatively flat topography and vegetation, significant arable character and low overall level of accessibility are considered to be limiting factors, particularly having regard to the surrounding development that has, and will continue, to isolate this site from the surrounding landscape, including the railway and the wider Alconbury Weald site.

- 7.22 In respect of the impacts likely to arise from this development, the ES has identified these as arising during the construction phase and the operational phase. Officers agree with the findings of the ES that the construction impacts on the landscape are likely to be low as these would be short term, focused works that would be localised within the development site to the area under construction at the time.
- 7.23 Operationally, the ES considers there to be a negligible-minor adverse impact at year 0. Officers note that the development is likely to result in a significant magnitude of change but agree with the ES that the actual impacts to the elements of the landscape that contribute to its value are not significantly harmful as these are largely retained as part of the proposals. The primary impact is considered to be the visual change from more sensitive receptors, mainly to the PROWS that cross the site. The ES proposes that such impacts can be mitigated through design responses, which are incorporated into the Design Code and its associated Regulatory Plan and which officers consider can be appropriately controlled through condition.
- 7.24 The submitted Regulatory Plan sets out the approach to land uses across the site. In respect to the PROWs, it directs these through open space, notably in close proximity to the existing tree clusters for footpath 230/11. This would retain much of the visual relationship to Countryside for these sensitive receptors and would support the accessibility to open space. While these would become more formalised within that open space, officers consider that is neutral impact in the context of the fallback within the 2012 permission that would have given rise to a similar impact.
- 7.25 The Design code and its associated Regulatory Plan sets out further parameters and design approaches across the various elements that make up the site, including breaking down landscape character areas and identifying the approach to landscaping that supports their position and function within the site. The Design Code is considered further elsewhere in this report, but officers consider the approach adopted here is appropriate in responding to the measures identified in the ES to mitigate the impacts of the development during its operational stage.
- 7.26 Officers note comments raising concerns regarding the coalescence of the development with surrounding settlements, namely the Stukeleys, though officers note close proximity to Huntingdon along the southern-most edge. It is noted that the closest point to the Stukeleys, at both Owl End and Green End, is approximately 230m across the area that forms part of the Key Phase 2 Country Park under application ref. 23/80349/COND, and which falls outside the Grange Farm submission. The areas of built form closest to the Grange Farm site are residential properties that form part of loose grained ribbons away from the main concentration of the settlement, and that are not served by through road accesses such that they are not as readily experienced as part of the overall village except by the occupants of these locations.
- 7.27 The stretch of land secured as part of the Country Park, and also secured as part of the open space requirements under the 2012 permission, is considered a substantial area of land. While the precise arrangement and design of that space as a buffer will be subject to further applications, the boundaries of that site closest to neighbouring

property are deep belts of woodland. Officers consider these elements, which would be secured under the Regulatory Plan and were designed having regard to Grange Farm as a proposal, would represent a suitable visual and spatial separation that would limit coalescence between the Stukeleys and the proposed development.

- 7.28 It is noted that, to the southern edge, the development is closer to Huntingdon. However, the site adjoins the current outer alignment of the A141, with a landscape buffer beyond that around the Stukeley Meadows Industrial Estate, and with the southernmost point of the application site forming a consented road access under application ref. 18/01577/REM. As the southern half of the application site is reserved for the potential realignment of the A141 and would require a further design code at an appropriate stage, officers consider there is substantial space available to ensure an appropriate design that would not result in any materially harmful level of coalescence with Huntingdon.
- 7.29 On the whole, therefore, and subject to condition requiring accordance with the Design Code and Regulatory Plan, officers consider the proposed development would not result in a material level of harm to the landscape as a resource. It would therefore accord with policies LP11 and LP12 of the Huntingdonshire's Local Plan to 2036 and Policy 3 of the Stukeleys Neighbourhood Plan 2023.

Design and Character of Built Form

- 7.30 This application is in outline form and future applications will be required with regards to the matters reserved, namely appearance, landscape, layout and scale. At this stage, however, consideration is to be had to whether, in light of the design principles established in the Design Code, the parameter plan, and the indicative layout, that an acceptable standard of design can be achieved within the development.
- 7.31 The application has been accompanied by a Design Code to inform its detailed design at reserved matters stage. Design Codes are a set of illustrated design requirements that provide specific, detailed parameters for the physical development of a site or area. The graphic and written components of the brief should be proportionate and build upon a design vision, such as a masterplan or other design and development framework for a site or area. Their content should also be informed by the 10 characteristics of good places set out in the National Design Guide (PPG para. 001 Reference ID: 26-001-20191001).
- 7.32 The aim of a Design Code is to provide clarity over what constitutes acceptable design quality for a particular site or area; Design Codes should however not hinder deliverability of the development and must also be flexible enough to ensure that they remain appropriate throughout the construction period of the development, and beyond. They function to prevent a piecemeal design approach that leads to clear clashes in character in the event of multiple housebuilders.
- 7.33 The Design Code includes all elements of the built environment including:
- Spatial components that take up land, including Green Infrastructure (open spaces and landscaping), Movement and Access (roads, paths and cycle routes), Commercial and

Residential Built Form (the buildings) and Community Uses Built Form.

- Non spatial components including elements such as architectural detailing, building materials, surfacing materials, street furniture, boundary treatment, public art and tree planting, and technical guidance on matters including parking provision, bin and cycle storage, water management, sustainability measures and ecological enhancement.

7.34 The Urban Design and Landscape Officers have reviewed the submitted Design Code and Regulatory Plan and are supportive of the arrangements established within them to control built form. They recommend a condition is imposed to require applications to demonstrate accordance with the Design Code, which would be necessary to ensure the development retains the high-quality design aspirations within the site, or ensure that any variations from the Code are fully justified. Officers note the applicant adopts a master developer model, in which they would deliver the primary infrastructure and individual residential parcels would be sold to housebuilders to build out, and a Design Code is therefore vital to ensure design across the site is cohesive and responsive to the vision of the development as a whole.

7.35 In terms of the design approach taken, the application identifies the vision for the site is to create a thriving community set within expansive green space, and with excellent connectivity to the surrounding services while promoting the transition between the nearby denser developments and the wider countryside. The Design Code provides three main chapters in particular to support delivery of this vision, including chapters on Green Infrastructure, Movement and Access and Residential Built Form. Further chapters also provide detail and support for a Local Centre and provide the technical requirements that proposals will need to meet as well as greater detailed requirements for built form.

7.36 In respect of Green Infrastructure, the Design Code has set out a number of components that make up open space across the site, in order to respond to different needs and constraints. These are summarised as follows;

- Village Approach: Set piece landscaping that marks the arrival into the site.
- Community Park: Large multi-functional space that link into the adjacent KP2 Country Park to the west.
- Pocket Parks: Smaller scale open spaces distributed within development parcels.
- Local Centre Setting: An area of open space that supports the setting of the Local Centre and links to the allotments.
- The Spinneys: The three woodland blocks within the centre of the site, to be incorporated into larger open space.
- Greenways: Multi-functional green corridors that connect through the site to surrounding open spaces and provide access to open space for residents, including areas of attenuation.
- Allotments: An area of allotments in close proximity to the local centre and linking into the KP2 Country Park.
- Community Gardens: Small productive landscapes distributed across the development to provide a growing resource for the local community.

- 7.37 The Green Infrastructure across the site generally provides a significant level of east-west connectivity, dividing and surrounding residential parcels as part of the approach to the achieving the overarching design vision. Officers consider the detailed design arrangements that support each of these areas provide a suitable basis for their design and that they will be capable of supporting the development and reinforcing high quality of green infrastructure across the site.
- 7.38 The Movement and Access chapter sets the approach to transport corridors across the site, creating a hierarchy of streets appropriate to the nature of traffic they are intended to carry, with larger, more formal movement routes being the primary corridors through the site and lower tier corridors being more informal, low speed shared spaces. The Design Code incorporates specific measurements appropriate to the nature of the carriageway, including the widths of roads, traffic calming measures, Non-motorised User (NMU) provisions and street furniture. These have been reviewed by the CCC as Local Highway Authority who have raised no objections to the indicated arrangements, having regard to adoptable requirements to ensure that, where appropriate, these could be publicly maintained.
- 7.39 The Movement and Access chapter also incorporates specific elements for NMU routes, such as pedestrian and cycle routes, and the design aspects to promote shared surfaces. These include those that link to the PROWs and run through the open spaces, identifying the general routes and their connection into the wider active travel network, as well as overarching arrangements in respect of materials and widths to accommodate different users. The County Definitive Maps Team have raised no objection to these routes, subject to conditions to ensure delivery.
- 7.40 The Design Code seeks to promote and control shared spaces to ensure they are useable in the lowest order tertiary streets and provide opportunity for them to be used as multifunctional spaces and not just as access to parking spaces. While officers note this may not be appropriate in all roads this will ultimately fall to consideration as part of reserved matters applications, and the Code is considered to provide a suitable approach that will promote positive design across these spaces while enabling assessment of the appropriateness as part of detailed design proposals.
- 7.41 In respect of Residential Built Form, the Design Code adopts a hierarchy in terms of promoting a high quality of design, providing site wide requirements that set out the principles in approaches to density, layout, and legibility. The Code then further provides details of character areas across the site to ensure these respect the positions of dwellings within the site as a whole, reinforce the design aspirations, and reflect the transition of characters across the site. These character areas are separated into six characters, becoming increasingly formal in appearance depending on their relation to other elements of the site, and summarised as follows;
- Country Park: Looser grained, informally arranged properties set within landscaping of varying depth and height to relate to the KP2 Country Park.
 - Green Corridors: Semi-formal arrangements of dwellings fronting towards the Green Corridors, maintaining an informal approach but with greater densities to support the transition across the site.

- Village Approach: Large-scale dwellings in a semi-formal arrangement that act as a focal point on one of the most prominent entries to the site and which form a key grouping.
 - Neighbourhood Street North: Consistent, generally formal arrangement of dwellings, with strong, regular frontages facing onto the central north-south spine road.
 - Northern Park Edge: A key grouping that acts as a more formal transition between dwellings fronting the park to the north and the KP2 Country Park to the west.
 - Link Road North: A formal, dense character that creates a strong frontage towards the primary movement corridor through Alconbury Weald.
- 7.42 These residential characters are supported by further detailed requirements, including in relation to building lines and orientations, planting, typologies, parking arrangements, boundary treatments and materials. Officers consider these details are suitable to support the high-quality design aspirations and maintain a level of cohesion across the site while providing flexibility of architectural approach.
- 7.43 While officers note there are limited overall details in terms of arrangement of built form within the local centre, the nature of this space is such that it will need to be able to respond to the needs of businesses and uses that come forward. The general indicated arrangements note the important views and links to and through the site and notes the key design principles that will be adopted in developing proposals. This is considered a suitable response to support that element of the site coming forward in a manner that responds to the wider design fixes and aspirations.
- 7.44 The Design Code also sets specific technical requirements for built form, including external amenity space requirements, play space provision, and the approach to utilities. While these are relatively minor details in the context of the development, they can result in a significant detriment to design quality without control, and it is considered the provisions within the Design Code are sufficient to ensure that these are sensitively designed into schemes.
- 7.45 It is noted that minor amendments have been recommended by the Urban Design and Landscape Officers. Discussion with the applicant has also indicated that there is need to consider amendments to accommodate renewable energy, in light of the changes to Building Regulations that will require these. Noting these are minor changes, or to bring the development in line with statutory requirements, it is recommended power to agree these changes is delegated to officers.
- 7.46 The Design Code also includes a checklist as an addendum. This would be required as part of each application, and would identify compliance with the Design Code, and the justification where there are any departures. This reflects the established approach on the wider Alconbury Weald site and is considered an appropriate approach to the development going forward. On the whole and subject to a condition requiring applications to demonstrate compliance with the Design Code, it is considered the proposal would result in an acceptable design arrangement that would accord with policies LP11, LP12 and LP13.

Housing Mix

- 7.47 This section relates only to application 19/01341OUT in considering the housing mix and accessibility requirements to come forward as part of that application. These requirements were not in place at the time of determining the 2012 permission and so are not matters that can be considered or otherwise imposed on application 19/01320/S73.
- 7.48 The Cambridgeshire and West Suffolk “Housing Needs of Specific Groups (2021) provides guidance on the mix of housing required to meet the needs of Huntingdonshire. This gives broad ranges reflecting the variety of properties within each bedroom category. This indicates a requirement for the following ranges needed; 0-10% 1 bedroom, 20-30% 2 bedroom, 40-50% 3 bedroom, 20-30% 4+ bedroom dwellings.
- 7.49 While the final mix of housing on this site as detailed in policy LP25 of Huntingdonshire’s Local Plan to 2036 would be determined at reserved matters stage a condition would need to be attached should permission be granted to require the application to demonstrate how it accords with the identified market housing mix in meeting the needs of the district.
- 7.50 The requirements within policy LP25 of Huntingdonshire’s Local Plan to 2036 relating to accessible and adaptable homes are applicable to all new dwellings. This states that all dwellings should meet Building Regulation requirement M4(2) ‘accessible and adaptable dwellings’. These include design features that enable mainstream housing to be flexible enough to meet the current and future needs of most households, including in particular older people, those with some disabilities, and also families with young children. Homes meeting M4(3)(a) ‘wheelchair user adaptable dwellings’ include further design features so that homes are capable of simple adaptation to meet the needs of wheelchair users, or M4(3)(b) which are built to fully ‘wheelchair accessible’ standards where affordable housing for a known user is to be constructed. Policy LP 25 seeks a further uplift above the M4(2) ‘accessible and adaptable’ standard for a proportion of new dwellings unless site specific factors demonstrate achieving this is impractical or unviable. The starting point for negotiations for provision of M4(3)(a) ‘wheelchair adaptable dwellings’ is set at 9% for market dwellings and 30% for affordable dwellings. As this application is in outline, with only access details submitted for approval, a condition would be necessary to ensure that the submission of reserved matters applications comply with this policy.

Transport and Highway Impacts

- 7.51 This section is concerned with the transport capacity within the wider network, matters of highway safety and associated impacts. Matters regarding the safeguarding land for a realignment of the A141 is considered separately elsewhere in this report.
- 7.52 This section relates primarily to application 19/01341/OUT as application 19/01320/S73 does not propose to generally alter the level of vehicle movement and development that arises from that proposal, with the exception of the increase in movement associated with the primary school. In any event, that increased provision has been considered as part of the submitted transport assessments and is not considered to require further works beyond those already secured as part of the 2012 permission, and as it was originally considered as part of 19/01341/OUT,

the works proposed to mitigate that additional development have also accounted for the increased school provision.

- 7.53 The 2012 permission adopts a 'monitor and manage' approach to the mitigation of highway impacts and the promotion of sustainable transport modes, and which is proposed to be adopted and amended as part of this application to ensure the appropriate mitigation to accommodate the additional development. In practice, this means that vehicle movement and the use of different modes of transport that arise from the development are monitored and appropriate trigger points agreed for different types of intervention. This approach enables response to any changes that might arise that affect transport movements, such as policy, market, or technology changes, or to accommodate the potential wider network changes such as the realignment of the A141 or delivery of the railway station within Alconbury Weald.
- 7.54 The 'monitor and manage' approach to mitigation would be secured through the S106 agreement in this instance in order to ensure that the mitigation measures secured as part of the 2012 consent will continue to be carried out as part of the development process of these applications. Monitoring will be required across both applications going forward, in order to ensure mitigation comes forward at the appropriate time, taking account of occupations across the development as a whole.
- 7.55 As part of each phase submission, both in relation to the 2012 permission and when Key Phase B would come forward in the event application 19/01341/OUT is consented, further detailed transport work is submitted. This would remain a requirement of each Key Phase submission and would include the details of any further network mitigation measures necessary to accommodate that phase. This is considered to remain the appropriate method to managing transport impacts from the development and will enable it to be carried out concurrently with the approach already secured in the 2012 permission, such that the appropriate trigger points can be secured across both applications.
- 7.56 The application has been accompanied by a Transport Assessment that has set out a number of mitigation measures and interventions needed to accommodate the development. This would include the following;
- Provision of non-motorised access networks through the development of an appropriate design to accommodate a range of users.
 - Diversion of bus services through Alconbury Weald into Grange Farm to provide 6no. bus stops with service frequencies of no less than 60mins, phased to frequencies of 30mins when wider link roads are opened or on occupation of Key Phase B.
 - The implementation of travel plans seeking at least a 7.4% reduction in car driver trips generated in each phase.
 - Offsite highway improvements to the A141/Ermine St/B1044 roundabout.
 - Offsite highway improvements to the A141/Washingley Road roundabout.
- 7.57 The application has been accompanied by extensive survey and modelling information that has considered the impacts of the development, including against the baseline established in the 2012 permission and having regard to development within the surroundings.

These have been reviewed by the County Council's Transport Assessment Team, who have supported the development and consider the submitted details have adequately demonstrated there is sufficient capacity existing in the network, already secured through other permissions, or that can be created as part of this application, to ensure the development would not result in a severe harm to the highway network.

- 7.58 Officers note some comments received have raised objections on the basis of increases in traffic and vehicle movements, these have not identified any specific reasons that would indicate this is likely to be the case having regard to the proposed mitigation. It is also noted that these highlight existing network arrangements, rather than those proposed as part of the secured mitigations measures under the 2012 permission, or those proposed as part of this increased development. As such, while the objections are noted, they are not considered to provide a sufficient justification that would indicate this application would not be able to mitigate for its own impacts, or any technical evidence that would demonstrate the proposal would likely lead to a severe impact on the network.
- 7.59 In respect to the internal arrangements of roads, movement corridors and parking, these will generally fall to reserved matters applications. These matters would be assessed against the requirements of the Design Code, that has been subject to consultation with the Local Highway Authority who have raised no objections in the design approach, including consideration of whether the roads can be designed to adoptable standards as a preference in their maintenance. Officers consider these details are sufficient at this stage, noting the detailed design will be assessed as part of later submission, and would be secured through the requirement to accord with the Design Code.
- 7.60 On the whole, and subject to securing the mitigation through the S106 and appropriate conditions, officers consider it has been adequately demonstrated that sufficient capacity can be provided in the network to ensure the development would not materially impact the network and would accord with policies LP16 and LP17.

Safeguarding of Land for the Realigned A141

- 7.61 This section is concerned with the provision and safeguarding of land for a future realignment of the A141, including any associated points of context. Matters relating to the highway impacts of the development, in terms of highway safety, transport network capacity and vehicle movement, are covered in the previous section.
- 7.62 Policy SEL1.1(g) is explicit that the development of this land is acceptable on the provision that sufficient land is safeguarded to facilitate a realigned A141, amongst other requirements. It should be noted that this requirement does not specify the land is solely for the roadway itself but should be taken to include land that may be required in association, for example any land required to allow sufficient drainage, landscaping or non-motorised user (NMU) route.
- 7.63 It should also be noted the consideration of the A141 realignment itself, including the detailed design of the road, is not part of this application and will fall to a separate determination under the relevant legislation

should a proposal be further developed. Consideration is solely limited to the sufficiency of the identified land to reserve a future route should there be commitment to fund the delivery of such a road.

- 7.64 County Transport Assessment Team, as the technical specialists who will be responsible for the detailed design of the realigned A141, have provided plans of a corridor that has been assessed as sufficient to accommodate a road. This has been assessed on a worst-case scenario of a 'dual carriageway' with segregated active travel routes, landscaping, and potential noise mitigation measures.
- 7.65 The road corridor runs through the southern part of this site where it adjoins allocation HU1 to the south, but there is no indication at present as to the specific route that it might take, or where it would cross the railway to the east. On that basis, the applicant has proposed the southern half of the Grange Farm application site is reserved for a later phase, and which would not come forward until such time as the road alignment is confirmed or has otherwise not come forward within a reasonable timescale. As such, the significant extent of land available for safeguarding within Grange Farm is considered more than sufficient to enable a realignment of the A141.
- 7.66 With respect to the S73 application, the development within this area that might be within the path of a realigned A141 has been previously considered as part of relevant reserved matters consent or approvals for details required by condition. In particular, the southern access road has consent, and Key Phase 2 (known as the Country Park) has phased the area that might be affected until later in order to protect appropriate land for the realignment. As such the S73 application does not change the state of compliance of the 2012 permission to ensure there is adequate land safeguarded for the realignment.
- 7.67 In terms of protecting the corridor in the long term, officers consider that this would require provision within the S106, to ensure that it is available for at least the medium term, and with appropriate release mechanisms in the event that the road does not come forward. It is not considered that a condition is appropriate to secure the land in this instance as it relates to a wider project, though conditions will be required as to the phasing arrangements to ensure they do not come forward in a manner that would prejudice the realignment. However, subject to appropriate provisions, officers consider there is adequate demonstration that land has been safeguarded for a potential A141 realignment, in accordance with policy SEL1.1.

Ecology and Biodiversity

- 7.68 Application ref. 19/01341/OUT has been accompanied by a chapter within the ES that covers Ecology & Nature Conservation, together with an Ecological Management Plan and Biodiversity Net Gain Calculations that indicate a net gain of 25% in Habitat Units and 355% in Hedgerow units can be achieved.
- 7.69 Application 19/01321/S73 has also been accompanied by similar information. It is noted that, due to the age of the 2012 outline, this predated net gain requirements, and this application is therefore to be assessed on the basis of no net loss in biodiversity as was appropriate at the time of its original determination. Notwithstanding, the net gain

calculations submitted have indicated a net gain is being, and will continue to be, achieved. Noting the original state of Alconbury Weald as an active airfield comprising significant areas of hardstanding and minimal, largely monoculture planting, officers consider there is a high probability of being able to achieve a significant level of net gain.

- 7.70 The S73 application has also been accompanied by an update to the ES that concludes the amendment would not change the impacts of the wider development on designated sites or protected species, and noting the change to that application is to remove the area of Grange Farm from the site officers consider that is a reasonable assessment as the development does not otherwise result in any change in the quantum of built development, with the exception of the school noted elsewhere in this report, and which is otherwise considered minor in the context of the applications as a whole.
- 7.71 Grange Farm is a largely arable site with limited overall established vegetation, with the notable exception of three woodland blocks located centrally. To the east is the Great Stukeley Railway Cutting Site of Special Scientific Interest (SSSI), that runs concurrently with the boundary of the site, along the railway line, and which is the only statutory protected site within 2km. Just beyond 2km lies the Portholme SSSI and Special Area of Conservation (SAC), located to the south of the site on the other side of Huntingdon. There are also a small number of non-statutory sites within the 2km distance, including the Spring Common County Wildlife Site, and Protected Road Verges along the B1043 and Abbots Ripton Road.
- 7.72 The ES has identified most of these sites as being at a substantial distance from the development, considered sufficient to ensure there are no significant material impacts beyond the 2012 permission. No objections have been received on the basis of impacts to designated sites, and as there is intervening development between the application site and these designated sites officers consider it unlikely there would be any further pressures than those identified in the ES in respect of groundwater contamination and changes to hydraulic conditions, which are assessed elsewhere in this report.
- 7.73 In respect of the SSSI to the immediate east of the site, existing approvals as part of the southern access and link road have secured mitigation measures, as agreed with Natural England, in the form of a buffer. Having regard to the reason the SSSI was designated the ES proposes no further mitigation beyond this, and officers consider this is sufficient noting Natural England has raised no objections.
- 7.74 In respect of other, non-statutory designations, officers note the areas of Ancient Woodland within the application site, Prestley Wood and The Spinneys. These are proposed to be retained and form part of the open space within the development, and which would improve their general connectivity to other green space within and surrounding the site. This is considered an acceptable approach in relation to these non-statutory designations that would support their long-term retention and management.
- 7.75 There are a number of protected species in and surrounding the site that have been identified within the submitted ecological assessments and ES, and the application has been accompanied by an updated

biodiversity net gain calculation and confirmation these assessments remain fit for purpose, noting the age of the original submission.

- 7.76 It is noted that the presence of badgers has been identified within submission documents. In accordance with NPPG guidance, and under the Protection of Badgers Act 1992, information on the location of badgers is kept confidential, to prevent harm to the species. As such, officers have considered protected species as a whole, and have not split these out for the purpose of this report in order to provide a comprehensive assessment without disclosing locations of badgers.
- 7.77 The ES has identified that there is limited loss of habitat that would serve most species using the site, with the exception of the loss of the agricultural land itself that may support some species. The ES has considered this against the 2012 permission, and notes that there is not a significant change in the baseline as it was then, with the exception of the inclusion of Grange Farm farmhouse and associated agricultural buildings. The retention of habitat features is generally reflective of the 2012 permission, which would otherwise provide a fallback in terms of the loss of the agricultural land and the redevelopment, albeit for a materially different form of uses.
- 7.78 In terms of mitigation, the ES proposes that appropriate mitigation proposals are submitted in advance of commencement for each reserved matters application. The application has been accompanied by a site-wide Ecological Management and Mitigation Plan that sets the overarching approach to mitigation during both construction and design. This includes the appointment of an appropriate Ecological Management and Clerk of Works to control an audit the development and ensure appropriate mitigation is in place, together with specific design measures needed to support the proposal. These would be capable of being secured by condition, and subsequent reserved matters will be expected to demonstrate how they have accommodated these measures both in their Construction Management Plans (CMP) and in the design proposals that come forward.
- 7.79 Officers note the applications have been accompanied by net gain calculations indicating a substantial net gain is capable of being achieved across the entire allocation of 25% in habitat units and 355% in hedgerow units. As net gain was not a consideration at the time of the 2012 permission the requirement to meet net gain could only be applied to application 19/01341/OUT. While the calculations are provided across the allocation as a whole, officers consider there is a reasonable chance to achieve at least a 10% net gain in biodiversity units within Grange Farm, and as this has been demonstrated by the application it is considered appropriate to secure and control this through condition to ensure each reserved matters application demonstrates appropriate levels of net gain.
- 7.80 On the whole, and subject to the conditions identified, it is considered the proposal has identified there would be no significant material harm to biodiversity or protected species and would therefore accord with policy LP30.

Drainage and Flood Risk

- 7.81 The application site as a whole is located in Flood Zone 1, at the lowest risk of flooding from river sources. There are areas at a high potential risk of flooding through surface water, but this predominantly sits on or adjacent to the areas of runway on the Alconbury Weald site or are running along existing drains and so are either subject to change or are reasonably expected to accommodate overflow.
- 7.82 As part of the 2012 permission, Alconbury Weald approaches drainage on a site wide basis, in which different elements of the site are attenuated and discharged into the wider network at appropriate rates, and with works being carried out to provide additional capacity in the Huntingdon Waste-Water Treatment Works (HWWTW) to enable foul flows to be accommodated. In respect of the amended application under 19/01320/S73, there are no expected changes in how the development would mitigate for and manage drainage. While there would be an element of reduction in the amount of space across the site that might have accommodated drainage measures, given the general arrangement of built form, it is not considered that there is likely to be any material change to this application that would indicate the S73 application would not continue to mitigate its impacts in accordance with the current strategy, in accordance with the submitted ES and Water Management Plan.
- 7.83 Application 19/01341/OUT proposes to adopt and continue the existing approach to surface water management established under the 2012 permission. The site is divided into parcels that focus discharge into different areas of the site, with detailed designs to be submitted as part of each reserved matters applications that will be required to demonstrate applications accord with the site wide strategy. That strategy also sets the levels of impermeable area that will be allowed for different uses across the site, the discharge rates, the points of discharge into the wider offsite network, and the amount of storage required across each phase. While subsequent reserved matters applications will be required to demonstrate accordance with these provisions noting these reflect the existing arrangement within Alconbury Weald it is not considered there is any reason to conclude they would not be achievable or that they would result in an adverse impact offsite.
- 7.84 In respect of foul drainage, the proposed additional development would discharge to the HWWTW in the same manner as the approved Alconbury Weald proposal. It is understood that there is a need to increase capacity in the long term, but there are temporary measures that have been put in place at present as part of the 2012 consent, and these have demonstrated sufficient available capacity until such time as the wider improvements come online. Anglian Water has confirmed that HWWTW will have capacity for these flows but will engage with the applicant in order to time improvements to ensure these are carried out appropriately. It is noted that the detailed designs to connect into the wider sewer network will fall to be dealt with under separate legislation, but officers consider sufficient detail has been provided to demonstrate there is sufficient capacity available, or that can be made available, to accommodate foul water flows.
- 7.85 The submitted ES, supported by the LLFA, notes that there is a potential impact during construction through surface water discharge that is not yet controlled through the long-term drainage proposals. In a similar manner as other construction impacts, it is proposed to mitigate this

through Construction Management Plans, which will accord with a site wide strategy and best practice guidance. As the construction impacts are short term, temporary measures until the permanent drainage strategy across the network are required; it is considered that these can be adequately controlled through condition to require the detail proposals as part of reserved matters applications.

- 7.86 The ES considers that there is potential to increase offsite flood risk from fluvial sources, namely Bury Brook tributary, but considers these are capable of being managed through the embedded mitigation measures as part of the site wide strategies to mitigate for surface water flows. The EA have raised no objection in principle, subject to conditions to ensure these measures are implemented. While officers note that there may need to be some consideration given to the detailed wording of the scheme noting the phased arrangement of the development it is considered this is readily capable of being achieved such that the proposal would not otherwise result in any material increased risk of flooding from fluvial sources offsite.
- 7.87 On the whole, and subject to appropriate conditions to secure accordance with site wide strategies, it is considered the proposed development would not give rise to unacceptable risks of drainage either on or off site, and would therefore accord with policies LP5, LP6 and LP15.

Heritage Impacts

- 7.88 Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 require that special regard is had to the desirability of preserving particular features of Listed Buildings and Conservation Areas. The Ancient Monuments and Archaeological Areas Act 1979 protects the archaeological heritage of Great Britain by making provision for the investigation, preservation and recording of matters of archaeological or historical interest.
- 7.89 In terms of the changes as relevant to application 19/01320/S73, there would be no material change to the relationship of the site with heritage assets that fall within that boundary, with the exception of a reduction in the indicated parkland surrounding the Prestley Wood Scheduled Monument (SM), and which is considered to be a neutral impact as that does not give rise to development beyond the 2012 permission. It is noted that there is an increase to the size of the Primary School in close proximity to the Heritage Area within the approved Alconbury Weald site that would likely increase the overall scale of that building. However, noting the existing arrangement within the site, and in the context of the overall master plan that would be rearranged, officers consider this is a neutral change in comparison to the approved development. The change in the relationship to the SM would arise due to the additional development arising under application 19/01341/OUT.
- 7.90 Officers note that Historic England have raised no objections in principle, but indicate they consider there will be a moderate degree of harm to the SM through development in its setting, but that it should be weighed against the benefits of the development, which includes heritage benefits for the management of that SM.

- 7.91 Historic England have also indicated a small number of listed buildings that may be impacted as the development will be within their setting, namely Stukeley Hall. This reflects those identified in the ES, which has indicated there is likely to be some level of harm but suggests this can be mitigated through design responses and appropriate investigation secured through condition. The Conservation Officer has reviewed the application in respect of these heritage assets and considers that, in the context of the wider development, there would not be a significant material change to their setting beyond those that would arise through the extant 2012 permission.
- 7.92 Officers consider that there is likely to be a significant degree of change within the locality by virtue of the additional residential development that arises from 19/01341/OUT, but consider that, in the context of the 2012 permission, there is already a substantial level of change within the site. Noting the Design Brief that forms part of KP2 (under ref. 23/80349/COND) establishes the planting principles within the Country Park that surrounds Prestley Wood SM, including woodland planting, officers consider there is an established commitment to screening that will further limit the visual impact on the woodland.
- 7.93 While a change to the experience and historic relationship between the SM and Grange Farm would still arise, that is also the case when considered against the 2012 permission which would have included some increased level of wider parkland to otherwise replace agricultural land, though the overall extent of which was not formally determined under the 2012 permission. It would have fallen to a Key Phase to define the precise extent and arrangement, and the extent of any built form that might have been within that Key Phase.
- 7.94 In respect of the designated heritage assets noted above and as set out in the ES, officers consider that on balance there is likely to be a very low level of less than significant harm that arises through the development in their setting. This would be predominantly driven through the development of the site altering the historic relationship of these heritage assets. As is the case for the impact to the SM, the change here should also be considered against the 2012 consent that included a level of development in this area in the form of parkland. As noted above the extent of that parkland was to be determined, but officers note application ref. 23/80349/COND sets the parameters for that park that maintains an offset of open space from the Grange Farm site of approximately 85m to the closest designated heritage asset in the surroundings.
- 7.95 Where harm is identified to heritage assets this must be weighed against the benefits of the proposal, in accordance with para. 206 of the NPPF, and there should be clear and convincing justification. This matter is returned to in the overall conclusion set out below.
- 7.96 In respect of archaeology, the submitted ES has provided an assessment of the potential effects and recommends these are dealt with through condition to secure an appropriate scheme of investigation. This approach has been supported by the County Historic Environment Team (CHET) and reflects the established process on Alconbury Weald in respect of archaeological investigation.

- 7.97 Having regard to the 2012 consent that secured archaeological investigation, the comments from CHET and the assessment set out in the ES, officers consider impacts to archaeology can be acceptably mitigated through condition, and such a condition would ensure accordance with policy LP34.

Impacts to Neighbouring Amenity

- 7.98 It is noted that application 19/01320/S73 does not propose to alter the quantum of development in terms of how it relates to neighbouring property, notwithstanding the change to the primary school. The land proposed to be removed from the application site does not form an edge of the 2012 permission, with the exception of a small section to the southern edge that adjoins an industrial estate. As such, application 19/01320/S73 is not considered to materially change in terms of the relationship with neighbouring property in its own right.
- 7.99 That said, and as set out elsewhere in this report, there would be an increased concentration of uses, predominantly around the central area of the development. In particular, the primary school located to the north of the approved secondary school increasing from a 2FE (form of entry) to a 4FE, in order to accommodate the need generated from application 19/01341/OUT. However, while there would be additional development arising within the area of land covered by 19/01320/S73, that is an intensification in an already focused area of use, and the uplift is not considered likely to materially change the relationship with neighbouring property given the distance from the nearest sensitive receptor against the fallback established as part of the 2012 permission.
- 7.100 Noting that application 19/01341/OUT is in outline form, the detailed design will fall to future reserved matters applications. It is therefore not possible to be conclusive in relation to matters of overlooking, overbearing, or overshadowing impacts, or other impacts that might arise from future detailed design. The correct test for an outline planning permission at this stage is whether it is reasonably likely the development could be accommodated without material adverse impacts to neighbouring residential amenity. Given the scale of the site, and the distance from sensitive neighbours in relation to these impacts, it is considered highly likely that an acceptable relationship could be established that would protect the amenity of offsite neighbours in respect to matters that might arise from detailed design.
- 7.101 In respect of other potential impacts from the operation of the development, namely matters of noise and odour, officers note that the proposed development is primarily further residential and would therefore be a use reflective of other surrounding uses and generally considered relatively low impact. Those uses set out in the Development Specification beyond residential are considered to be compatible with such uses. These other uses would form part of the local centre, incorporating retail and community uses. That said, there is the potential that unrestricted uses may give rise to adverse impacts. Officers consider there is a reasonably low likelihood that would be the case and that this can be readily controlled with through conditions that require mitigation details to be submitted as part of each reserved matters application that incorporates uses or operational equipment that might give rise to material impacts in an otherwise uncontrolled development.

- 7.102 In respect of construction impacts, officers note there are potential impacts of noise and dust that may arise. The submitted ES generally considers the activities carried out during construction have the potential to give rise to significant adverse impacts to residential amenity. That said, it also considers that the construction activities are temporary and capable of being controlled through good practice in accordance with a CMP to ensure their impacts are adequately mitigated.
- 7.103 While the scale of the development is significant, and construction will therefore be long term, officers note that the phasing of the development, as has occurred in the wider Alconbury Weald site, is likely to mean development progresses in stages across the site. Construction area would therefore move across the site, maintaining an offset from occupied areas. As is the situation on the existing Alconbury Weald site, officers consider a condition is appropriate to require construction management details to be submitted as part of each Reserved Matters application that will set out the approach to mitigating construction impacts.
- 7.104 On the whole, and subject to the conditions set out above, officers therefore consider the proposal would not give rise to a materially adverse impact to the residential amenity of surrounding occupants, in accordance with policy LP14.

Contamination and Air Quality

- 7.105 The application has been accompanied by information as part of the ES assessing ground and water contamination and air quality. These have been reviewed by the Environmental Health Officer, LLFA and Environment Agency who have raised no objections on the grounds of potential contaminative impacts.
- 7.106 In respect of ground contamination, the ES has identified that there are likely to be minimal sources of existing contaminants, predominantly small scale and localised as part of the existing Grange Farm agricultural complex. It recommends further detailed investigation is carried out following any consent and appropriate remediation carried out in the event of contaminants identified. Noting the site is greenfield, and potential contaminants are likely to be more typical in relation to the historic agricultural use and low intensity industrial uses, officers consider this approach is appropriate in this instance, and reflects standard practice. Noting the site wide outline had investigated likely contaminants across the site, officers consider there is no notable reason to consider contaminants would be unlikely to be capable of appropriate remediation to ensure safe future use of the site.
- 7.107 In respect of the construction phase, it is noted that there is a potential for a contaminative event to arise, though the risk is from standard construction processes, as opposed to any bespoke risk unique to this development. The ES considers that the approach to remediation identified above, together with appropriate controls under industry standard practice and oversights that fall under other legislation, is sufficient to limit the potential for contaminative instances, protect health of site workers during the construction process and ensure there is appropriate remediation. Such matters would be capable of being controlled through a Construction Management Plan (CMP) required by condition.

- 7.108 In respect of the operational phase of the development and the uses proposed, the ES considers that potential impacts are negligible. Officers consider this is reasonable, as the site is predominantly residential, with small scale elements of other uses that are not considered to be anywhere near a scale likely to give rise to risk of ground contamination. Officers therefore consider there is no reason for further controls to be imposed to control potential contaminative uses during the operation phase, and that it would be adequately covered under other legislation.
- 7.109 The submitted ES notes that the impacts to air quality that arise through the development are likely to be a construction stage, but considers the operational stage is unlikely to give rise to any notable impacts to air quality. Noting the proposed uses, considered against background levels identified, officers agree with the ES that the operational stage of the development is not likely to result in materially adverse impacts to the air quality.
- 7.110 During the construction phase, impacts are identified as being likely to arise from construction dust and emissions from construction vehicles. The ES has considered these can be controlled through CMP but are otherwise unlikely to give rise to such significant levels of impact that would result in materially harmful impacts. The application has been accompanied by a Framework CMP that sets a site wide approach to development, having regard to the recommendations of the ES. It is proposed that a condition would require subsequent reserved matters applications to submit further CMPs that would follow this site wide strategy, reflecting the existing approach in the wider Alconbury Weald site. Officers consider this is an appropriate response to control construction impacts and ensure that the development can respond to the number of developers that are on the site in terms of the level and arrangement of construction compounds and plant and machinery needed to control construction impacts. The proposal is therefore considered to provide a suitable arrangement with regards to the control of air pollutants and dust during construction.
- 7.111 In respect to potential water contamination, the ES identifies that potential implications across all stages of the development arise from surface water run-off carrying contaminants into sensitive receptors. This would arise from hardstanding, both in built form and through compaction of ground that increases impermeable areas during construction. It is noted that the risk of contaminant events is considered higher during construction due to the presence of construction plant and machinery that might utilise contaminative substances, and also due to the physical activities carried out, including soil stripping and earthworks.
- 7.112 The ES considers the Construction Management Plan is also an appropriate method to control the potential impacts to the water network from contaminants that might arise through control off surface water run-off during construction. During the operational phases the ES considers that standard surface water drainage mitigation measures will be able to attenuate and filter surface water.
- 7.113 Officers note no objections have been received from technical consultees on the grounds that there is likely to be a material impact on the water network through contaminants, and the approach to managing

water flows through the construction process is supported by the LLFA in terms of providing details of temporary drainage measures. Officers therefore consider that risks to the water environment can be adequately managed through appropriate Construction Management Plans and through SUDS delivered as part of the development.

- 7.114 On the whole, the proposal is not considered likely to give rise to significant risk of contaminants, and any existing contamination can be adequately mitigated. Subject to the conditions set out above it is considered the proposal would accord with policies LP36 and LP37.

Amenity and Health of Future Occupants

- 7.115 This section specifically relates to application 19/01341/OUT. While the 2012 permission proposed to be amended under application 19/01320/S73 is still being built out the impacts to future occupants of that site remain unchanged, with the potential exception of a reduced area of open space than initially shown on the parameter plan for that proposal, which is assessed elsewhere in this report.
- 7.116 As the application is in outline form matters of detailed design, such as layout and scale of dwellings, cannot be determined at this stage. Consideration should therefore fall to whether it is likely, having regard to the details available, that satisfactory arrangements can be made for future occupants with regards to amenity and health.
- 7.117 In respect to amenity, given the scale of the application site and the measures set out in the submitted Design Code, officers consider that there is a reasonable likelihood that residential units can be accommodated that provide sufficient amenity space and are not adversely impacted through overlooking or loss of light. In any event, it is noted that occupants would be aware of the layout and design of dwellings, relationship of the site and would be able to make an informed decision on how that relationship would relate to their personal needs.
- 7.118 The site is located in close proximity to the existing North-East railway line. The ES has investigated the impact of this in respect of vibration, and concludes that, in accordance with the relevant technical standards, there is a "low probability of adverse comment" in respect to human comfort. It concludes that vibration from the railway is not a constraint for development subject to a 50m offset from the nearest track edge as per the parameter plan. As the Environmental Health Officer has raised no objection on this matter, and there is no other indication that this is likely to result in an adverse impact officers consider future occupants would likely suffer a materially harmful amenity impact through potential vibration, in light of the offset from the railway that forms part of any plans that would be approved.
- 7.119 In terms of noise impacts, the ES has carried out an assessment of background levels and identified that noise that may impact future occupants is predominantly derived from road traffic sources, with minimal train impacts due to the low frequency of train passing events. In the majority of the site, it is identified that noise is unlikely to be observed by future occupants, with the exception of any in close proximity to the existing A141. The ES also provides details of mitigation measures that would be intended to ensure dwellings that might otherwise be subject to high levels of noise would be adequately

mitigated to below relevant thresholds within standards. Noting that dwellings likely to be exposed to these would fall into later phases and would therefore require details to come forward as part of an approval of that phase, officers consider any further phase proposals should also include appropriate noise information to demonstrate the mitigation measures that would be required to ensure they are not materially harmed.

- 7.120 It is noted, as identified in the ES, that the potential operation of the Local Centre, where uses are not definitively known, may impact amenity of residents in close proximity, through the use of plant and machinery as part of their operations. Officers consider, in accordance with the ES, that these can be controlled through appropriate design and through requiring details of any such plant to be provided as part of applications for that area. Noting the small scale of the Local Centre it is considered unlikely that any future occupants of those units would require plant and machinery that could not be adequately mitigated to protect the amenity of future onsite residents.
- 7.121 The southern part of the application site incorporates an area reserved for a realignment of the A141. While there is potential that the road could give rise to a significant level of noise from that realigned route, there is also substantial land that would enable mitigation measures to be accommodated. The County Transport Team have confirmed they have no objections, and mitigation for impacts arising from the A141 would fall on that project, including in respect of noise and air quality. Noting the significant level of land surrounding the site, officers consider it is unlikely future occupants would be exposed to unacceptable impacts arising from the realigned road. That said, noting a future phase would include the area reserved for the purpose of the A141, with potential development close to the existing A141 and the railway, it is considered reasonable to require future Key Phase proposals to include a noise assessment, to ensure further residential development is capable of maintaining an acceptable noise environment for future occupants without prejudicing the ability to deliver that project.
- 7.122 The application has been accompanied by a Health Impact Assessment that, together with the ES, has considered the implications of future occupant's health, including matters of accessibility, service provision, safety and use of resources. Generally, this concludes that the proposal is unlikely to give rise to needs that will not be met within the development. The application includes additional service space within the local centre and contributes towards wider services that are secured through the 2012 permission to ensure an appropriate uplift that will meet additional need. There is significant access to open space and sport demonstrated through the regulatory plan and design code, and officers consider these also demonstrate appropriate arrangements are made to be able to create safe environments through future reserved matters applications.
- 7.123 On the whole, and subject to the conditions identified, it is considered the proposal would provide a good standard of amenity for future occupants, in accordance with policies LP14 and LP29.

Section 106 Contributions and Community Infrastructure Levy (CIL)

- 7.124 Section 106 Obligations may be sought where they meet the tests of Regulation 122 of the Community Infrastructure Levy Regulations 2010 (as amended). Such obligations must be necessary to make the development acceptable in planning terms, directly related to the development and fairly and reasonably related in scale and kind to the development.
- 7.125 The development will be CIL liable in accordance with the Regulations (and exemptions contained within) and the Council's adopted charging schedule. In addition, as the proposal is for in excess of 200 dwellings, contributions beyond CIL may be sought through S106 obligations towards infrastructure in respect of health, education, footpaths, community facilities, libraries and lifelong learning, open space and sport facilities as necessary in relation to the proposal.
- 7.126 In order to calculate the required obligations, the Developer Contributions SPD requires that dwelling numbers are translated into population. At this time average household numbers are calculated at 2.19 persons per household. This development, at 1500 dwellings, would therefore equate to a population of 3285 people.
- 7.127 The 2012 application is subject to an established S106 agreement that secured appropriate mitigation for that development. Application 19/01320/S73 will be subject to the same mitigation and the following sections predominantly relate to application 19/01341/OUT. However, there are instances, as set out in the relevant sections, where some overlap or increases may arise. It is intended that both applications will be subject to a joint S106 to enable flexibility in delivery of these developments and make better use of development opportunities as a whole and ensure mitigation is addressed on a sitewide basis.
- 7.128 In summary, the following contributions have been identified as being required by the adopted Developer Contributions SPD, or requested by consultees;
- That subject to viability, 40% (up to 600 units) of the dwellings provided affordable, as defined within the NPPF (with an expected provision of 70% to be provided as social or affordable rented properties and 30% shared ownership properties).
 - £11,685,000 towards Primary Schools and Early Years Education
 - £12,232,878 towards Secondary School Education
 - £2,201,904 towards Post-16 Education
 - £1,202,166 towards Special Education Needs
 - A contribution towards wheeled bins of £175 per dwelling or £669 per shared bin.
 - £1,875,012 and an appropriate land parcel towards Health provision
 - £3,360,000 towards Transport interventions
 - At least 6.9ha of Informal Open Space
 - At least 5.2ha of Formal Open Space

Affordable Housing

- 7.129 As set out in adopted policy LP24, proposals of this scale are required to contribute towards affordable housing, providing 40% of the dwellings as affordable units. Of the proposed 1500 dwellings this would represent a total of 600 affordable units. Criterion b. of policy LP24, together with

the supporting text at paragraph 7.9 of the Local Plan clarifies that the expectation is provision comprises is a mix of 70% social or affordable rented, and 30% shared ownership units. This is the expected starting position unless there are other considerations that may indicate a lower level of affordable housing is appropriate, and in this instance the applicant has submitted a viability assessment that seeks to demonstrate the provision of 40% affordable housing would render the scheme unviable, and a lower provision should be sought in accordance with NPPF para. 58.

- 7.130 A viability exercise has been undertaken, concluding in March 2024, with the Council advised by Gerald Eve as an independent consultant, funded by the Developer in line with the Developer Contributions SPD. This has been carried out in line with, and having regard to, best practice and the provisions of the NPPG with regards to appropriate levels of developer profit and the approaches to funding, noting the master developer model of the applicant.
- 7.131 The review has resulted in an outcome that considers the development is unviable of requiring a provision of 40% affordable housing. It has identified that 20% provision at 70/30 split between affordable or social rent and shared ownership would be viable, or 23% at a 50/50 split. In discussion with the Affordable Housing Officer, the preference is for a 70/30 split. While this would result in 45 units less as a whole, there is such an acute need for affordable or social rent products, and such a limited need for shared ownership products, that it is considered the balance in this instance falls heavily towards a 70/30 split as this would provide a higher number of affordable or social rent properties.
- 7.132 The amount and split have been put to the developer who has confirmed that that they accept the modelling and would enter into a S106 on this basis. In light of the viability review carried out, the proposed 20% provision at a 70/30 split is considered acceptable and would be secured as part of a S106. Noting the scale of the development, the changing nature of costs, officers consider a review mechanism is also appropriate, either during the course of the development or as a reconciliation at the end of the development. Further discussion will be had during the course of the drafting of the S106, to ensure this is carried out at the appropriate time. Officers would also seek provisions within this S106 that reflect the 2012 permission and requires that the developer seek and make use of any grant funding that might be available to support the provision of additional affordable units beyond those required by the S106 itself, in order to support provision.
- 7.133 Subject to the above, securing affordable housing through the S106 would be required and accords with policies LP4 and LP24, and Section A of the Developer Contributions SPD.

Education

- 7.134 It is noted that, as part of the 2012 permission, land and contributions were secured towards early years, primary and secondary school provisions. As part of the Secondary school provision the County Council has also provided a Special Education Needs (SEND) school. This application seeks to make use of and contribute towards that existing infrastructure and would therefore create a joint provision with the contributions established in the 2012 permission that would serve

the development across both Alconbury Weald and Grange Farm. It is noted that, as part of discussions between the developer and the County Council as Education Authority, the developer is intending to direct deliver the school facilities. Appropriate provisions will be required within the S106 to allow this to take place or enable the County Council to deliver if that becomes the preferred method, but officers consider this is acceptable in principle and can be readily accommodated.

- 7.135 With regards to primary and early years education, a contribution of £11,685,000 has been identified. This is intended to form an uplift to “primary school 2” that forms part of Key Phase 3 currently under consideration and would increase the scale of that primary school from a 2FE to a 4FE. Appropriate testing has been undertaken to ensure the primary school is suitably located in relation to the Grange Farm proposal in terms of accessibility and can adequately accommodate the child yield from the proposed additional residential, and which has been found to be acceptable. This contribution is therefore considered to be required to ensure the development accords with policy LP4 and G of the Developer Contributions SPD.
- 7.136 A contribution of £12,232,878 towards Secondary Education has been requested, specifically towards the expansion of the approved Secondary School within Alconbury Weald, creating a further 2FE provision. Officers note land was reserved as part of that Secondary School to enable the potential enlargement in the future and it was identified as part of that application (ref. CCC/21/262/FUL). It is therefore considered feasible that this school can accommodate the expansion. This contribution is therefore considered to be required to ensure the development accords with policy LP4 and G of the Developer Contributions SPD.
- 7.137 In addition to the Secondary School provision, a further contribution of £2,201,904 is required towards provision post-16 education. This is also anticipated to be provided as an uplift to the provisions that form part of the established secondary school and would support the additional yield from the uplifted dwellings. This contribution is therefore considered necessary to meet specialised needs of children, in accordance with policy LP4 and section G of the Developer Contributions SPD.
- 7.138 A contribution of £1,202,166 towards the Special Education Needs (SEND) school on Alconbury Weald has been requested to meet the needs arising from this development. It is noted that the school was partly forward funded on the basis that contributions on this allocation was not yet secured, but the request remains as a requirement to meet its needs. While there is likely to be an element of SEND provision within the primary school, that is not targeted provision, and is generally part of the needs of those schools, as opposed to this request which is focused on a specific type of provision. This contribution is therefore considered necessary to meet specialised needs of children, in accordance with policy LP4 and section G of the Developer Contributions SPD.
- 7.139 Officers note that these contributions are based on a likely population yield, and a more detailed calculations would be used within a S106 agreement to ensure this meets the impact of the actual size of dwellings delivered on site in detail. The contributions would be necessary to mitigate the increased demand for school places generated by the

development that cannot be accommodated within existing schools within the surroundings, in accordance with policy LP4 and section G of the Developer Contributions SPD.

Wheeled Bins

- 7.140 A contribution towards waste would be required, specifically the provision of wheeled bins to serve residential units within the development. The amount required would be based on a per dwelling calculation, of £175 per dwelling. Any shared bins, such as those serving flats, would require a contribution on the basis of £669 per bin. This would be reflected as a calculation within any S106, to capture the final outcome of the number and form of dwellings. It is considered necessary to ensure the development has adequate waste infrastructure, in accordance with policy LP4 and section H of the Developer Contributions SPD.

Health Provision

- 7.141 The Clinical Commissioning Group (CCG) in connection with NHS England has identified a contribution of £1,875,012 together with an appropriate land parcel would be required towards health provision, calculated on the average person yield from the number of dwellings provided. The CCG have confirmed that this would be towards the expansion of the surgery secured as part of the 2012 permission within the wider Alconbury Weald development, and a parcel of land will be located within the Local Centre, determined at an appropriate stage as the design of that area of the development evolves. Officers consider this amount to be the requirement to mitigate the impacts of the development in terms of health provision and it would be required in accordance with policy LP4 and section D of the Developer Contributions SPD.

Transport Interventions

- 7.142 As set out earlier in this report, this application proposes to adopt a 'monitor and manage' approach to transport improvements to reflect the 2012 permission, in which network interventions will arise at trigger points and require appropriate improvements in the network. The 2012 permission is subject to a planning obligation within its S106 that sets the calculation of a transport cap to mitigate for the impacts of that development. This application proposes to uplift that total transport cap by a further £3.36m to carry out the mitigation measures. This is considered reasonable and necessary to ensure that the long-term mitigation requirements are secured and can be accommodated into the wider network and would accord with policy LP4.

Green Space

- 7.143 In accordance with the Developer Contributions SPD, the required provisions for on-site open space to be delivered based on the quantum of development proposed for application 19/01341/OUT is a minimum of 69,642m² of open green space, based on a calculation of 21.2m² per person. No objections have been raised by the Open Spaces Team, who are supportive of the general location of equipped play spaces and the arrangement of open space, as set out in the parameter plans. There is considered to be sufficient space to accommodate the needs of the

development which would be phased throughout the application to ensure there is ongoing provision to meet need as it arises at appropriate trigger points.

- 7.144 Officers note that the strict application of play space thresholds would require the development to provide 8no. Neighbourhood Equipped Areas of Plan (NEAP) and 2no. Local Area of Play (LAP). This is considered excessive to meet the needs of the development, noting the large areas of open space and formal sport provision. The application proposes 1no. NEAP and 2no. LEAPs within the first phase, with 4no. pocket parks also included within the residential parcels (measuring between 900m² and 1500m² as set out in the Regulatory Plan). Later phases would be expected to provide additional provision once the extent of them is understood and will form part of the design code arrangement. Officers consider the proposed extent of play space is acceptable and would provide an appropriate balance in open space to serve the needs of the community. In addition, contributions would be required towards maintenance depending on the party that adopts the green space on site, to be calculated in accordance with the updated costs in Appendix 2 of the SPD.
- 7.145 As the proposal is in excess of 450 dwellings, the Developer Contributions SPD requires contributions towards formal sport provision, primarily in the form of onsite contributions. Based on a calculation of 16m² per person the total amount of land required at 1500 dwellings is 52,560m². The application has not set out specific areas of formal sport provision within the regulatory plan, though notes a number of different elements of open space that could incorporate some level of provision can be accommodated within the Community Park. That said, officers also consider that, as part of the S106, the formal sport provision would be appropriate to secure on a site wide basis. Formal Sport provision within the wider Alconbury Weald development is provided within hubs, particularly within the Country Park and as part of a sport hub within Key Phase 3.

S106 Summary

- 7.146 Overall, of the obligations that have been identified and requested, the following are considered to meet the tests in 122 of the CIL Regulations and would accord with policy LP4. They are recommended to be sought through a S106 legal agreement in the event of a resolution to approve 19/01341/OUT and linked to the requirements of the 2012 permission;
- That 20% of the dwellings to be erected are affordable (with an expected provision of 70% to be provided as social or affordable rented properties and 30% shared ownership properties.)
 - £11,685,000 towards Primary Schools and Early Years Education
 - £12,232,878 towards Secondary School Education
 - £2,201,904 towards Post-16 Education
 - £1,202,166 towards Special Education Needs
 - A contribution towards wheeled bins of £175 per dwelling or £669 per shared bin.
 - £1,875,012 and an appropriate land parcel towards Health provision
 - £3,360,000 towards Transport interventions
 - At least 6.9ha of Informal Open Space
 - At least 5.2ha of Formal Open Space

Other Matters

- 7.147 A number of conditions required submission of details under application 19/01320/S73 and which have been submitted and subsequently discharged, or which have been partially discharged as relevant to each phase. These will be amended to require compliance with the approved conditions in the interests of expediency, in order to ensure the permission does not require resubmission of these details.
- 7.148 The Country Fire & Rescue service has recommended a condition or S106 contribution towards the provision of fire hydrants to serve the development. This is considered to be necessary to ensure the development has adequate service provisions to respond to emergency events and can be secured by condition as is standard practice. While it is noted that the original Alconbury Weald development required this information to come forward as part of each reserved matters application, this has proved difficult to achieve until permissions are granted and Anglian Water can fix infrastructure. Officers would therefore intend that this is separated out to enable the details to come forward as either part of a reserved matters application or as a standalone application for these details, as has been the case at this stage.
- 7.149 Sport England has recommended a condition requiring a full specification of sport facilities together with a detailed investigation of land to provide playing fields. Officers note, as set out above, that sport provision will be secured through the S106, but may form part of other areas within wider Alconbury Weald, to which a condition under application 19/01341/OUT could not control. As such, a revised version of the condition would be considered appropriate, that requires land investigations to be carried out within Grange Farm for any sport provision proposed, but that the quantum and strategy on a site wide basis is secured as part of the S106.

8. Planning Balance and Conclusions

- 8.1 The application must be considered in accordance with the statutory tests in s.38 (6) of the Planning and Compulsory Purchase Act 2004, namely, in accordance with the Development Plan unless material considerations indicate otherwise. It has been demonstrated through the plan that there is a five-year supply of housing land, and in accordance with paragraph 76, this is sufficient to confirm that position. The policies which are the most important for determining the application are considered to be up-to-date and are afforded full weight.
- 8.2 As set out above, officers consider the principle of the development is established, and the application accords with the Development Plan, with the exception of identified harm in relation to the Prestley Wood SM through development in its setting. This is considered a minor level of harm, as the fallback within the 2012 consent already represents a significant change in the surrounding area. As such, the level of harm is considered to represent less than substantial harm, towards the lower end of the threshold.

- 8.3 In accordance with para. 208, less than substantial harm should be weighed against the public benefits of the proposal, including securing long-term viable use of the designated heritage assets. Officers note the proposed development would provide significant social and economic benefits through the creation of new residential units and the associated use of local services and shops. The additional residential development will also support use of the open space that incorporates the SM and the future heritage area within the wider Alconbury Weald development. Together, these are considered to represent substantial benefits and outweigh the low level of less than substantial harm through the development in the setting of the SM.

9. RECOMMENDATION 19/01320/S73 – Delegated powers to APPROVE subject to conditions as set out in Appendix B and completion of a S106 to link the permission to the terms of the original 2012 permission.

OR

REFUSE in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

RECOMMENDATION 19/01341/OUT- Delegated powers to APPROVE subject to conditions including in relation to the following, completion of a S106 agreement, and minor revisions to the Key Phase A Design Code.

1. 3-year time limit to submit first reserved matters application.
2. Reserved matters applications to be submitted.
3. Reserved matters applications to be commenced within 2 years.
4. Accordance with approved plans.
5. Development to be phased.
6. Accordance with Development Spec.
7. Accordance with Site Wide Strategies.
8. Key Phase Definitions to be submitted.
9. Key Phase Frameworks to be submitted.
10. Requirements for reserved matters applications progressed outside an approved Key Phase.
11. Required information to be submitted with reserved matters applications, to also include.
 - Design Code Compliance
 - Site wide strategy compliance
 - Details of housing mix
 - Provisions of M4(2) and M4(3) dwellings
 - Details of Biodiversity Net Gain measures
 - Construction Management Plans
 - Noise Mitigation Measures
 - Drainage Details
 - Sport Facility Specification
12. Implementation of Travel Plan
13. Land Contamination Investigation and Remediation

14. Network Rail Land
15. Restriction on Key Phase B
16. 1500m² maximum floor space limit per retail unit
17. fire hydrants
18. Archaeology
19. PROWs
20. Part G water efficiency
21. Review of drainage measures post completion

OR

REFUSE in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to **Aaron Sands, Senior Development Management Officer** aaron.sands@huntingdonshire.gov.uk

TOWN & COUNTRY PLANNING ACT, 1990

OUTLINE PLANNING PERMISSION

Urban And Civic
c/o David Lock Associates (FAO Mr A Fisher)
50 North Thirteenth Street
Central Milton Keynes
Bucks
MK9 3BP

Huntingdonshire District Council in pursuance of powers under the above Act, hereby **PERMIT**

Up to 290,000 sqm of employment floor space, including data storage and a materials recovery demonstration centre and up to 5,000 dwellings, including sheltered/extra care accommodation; a mixed use hub and mixed use neighbourhood facilities, including retail, commercial, leisure, health, place of worship and community uses; non-residential institutions including primary schools, nurseries, a secondary school and land reserved for post 16 education provision; open spaces, woodlands and sports provision; retention of listed buildings; new vehicular access points from Ermine Street and the A141, with other new non-vehicular access points; associated infrastructure; reserve site for a railway station and ancillary uses; and associated demolition and groundworks.
at Alconbury Airfield Ermine Street Little Stukeley PE28 4WX

in accordance with your application received on 15th August 2012 and plans (listed below) which form part of the application

Plan Type	Reference	Version	Date Received
Location Plan	UAC002 101	H	15.08.2012
topographical survey	UAC002 276		15.08.2012
Parameter Plan	UAC002 220	T	17.06.2013

1. Condition

The first application for approval of reserved matters namely access, appearance, landscaping, layout and scale shall be made to the Local Planning Authority no later than three years from the date of this permission. Applications for approval of all subsequent reserved matters for each part of the development including reserved matters applications advanced outside a Key Phase shall be made to the Local Planning Authority no later than twenty years from the date of this

Amoffat.

Head of Development

ufm5

Date 1st October 2014

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permission. Such development to which those reserved matters applications relate shall be begun no later than the expiration of two years from the final approval of those reserved matters.

1. Reason

To enable the Local Planning Authority to control the development in detail and to comply with Section 92 of the Town & Country Planning Act 1990.

2. Condition

Plans and particulars of the reserved matters referred to in Condition No.1, relating to access, appearance, landscaping, layout and scale, shall be submitted to and approved in writing by the Local Planning Authority in respect of any part of the development of the site before any development commences within that part of the site.

2. Reason

To enable the Local Planning Authority to control the development in detail and to comply with Section 92 of the Town & Country Planning Act 1990.

3. Condition

Development shall be undertaken in phases (in this condition meaning a Reserved Matters Area).

Development shall not commence unless:

a) the proposed development falls within a Defined Key Phase and an identified Reserved Matters Area; or

b) the proposed development is identified as Development Advanced Outside a Key Phase in relation to which all reserved matters should be submitted to and approved in writing by the Local Planning Authority as Reserved Matters Applications approved Outside a Key Phase in accordance with Condition No.15.

3. Reason

To allow for phasing of CIL payments and to enable the Local Planning Authority to control the development in detail and to comply with Section 92 of the Town and Country Planning Act 1990, as amended.

4. Condition

Development shall conform with the Parameter Plan (ref. UAC002-220 - Rev T), and the Updated Development Specification June 2013 including the Spatial Principles; and the Design & Access Statement Principles identified in The Design & Access Statement June 2012 and the Addendum to the Design & Access Statement July 2013, which are hereby approved as part of this permission, save for only minor variations where such variations do not deviate from this permission nor have any additional or materially different likely significant environmental effects to those assessed in the Environmental Statement accompanying the application.

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Head of Development

ufm5

Date 1st October 2014

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4. Reason

For the avoidance of doubt and to ensure that the details of the development are acceptable to the Local Planning Authority.

5. Condition

The plans and particulars of each relevant reserved matters application shall not exceed the maximum parameters of development set out in the updated Development Specification

5. Reason

For the avoidance of doubt and to ensure the development is within the parameters assessed in the Environmental Statement accompanying the application.

6. Condition

Development shall not commence unless, in accordance with the approved Estate Management Strategy and Ecological Mitigation and Management Strategy, a suitably qualified ecological clerk(s) of works has been appointed.

6. Reason

To ensure that the development of the site protects, maintains and enhances ecology. Huntingdonshire Core Strategy (2009) policy CS1.

7. Condition

Development shall not commence until the site wide Framework Travel Plan submitted in support of the Outline Planning Application Transport Assessment (August 2012) has been reviewed and updated as necessary, and submitted to and approved by the Local Planning Authority. A scheme for the monitoring of the effects of the measures identified in the Implementation Plan as set out in the Framework Travel Plan shall be submitted to and approved in writing by the Local Planning Authority prior to the first occupation of development. Thereafter the approved plan shall be subject to monitoring and updated, as appropriate, (in such form first approved by the Local Planning Authority) through each Key Phase Transport Assessment and Key Phase Travel Plan as part of the Key Phase Framework.

7. Reason

To ensure that the development encourages the use of sustainable modes of transport by residents, employers, work forces, school children, staff, and their visitors and to reduce off-site traffic impacts. Huntingdonshire Core Strategy (2009) policy CS1.

8. Condition

Site Wide Strategies

Development shall not commence and no Key Phase Framework shall be submitted for approval pursuant to condition No.10 until the following site wide strategies have been submitted to and approved in writing by the Local Planning Authority. These strategies shall be in accordance with relevant information submitted with the outline planning application, as amended. These

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ufm5

Date 1st October 2014

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strategies will establish broad, site wide principles, objectives, parameters and targets, under the following headings:

a) Estate Management Strategy

- i. Materials management for all on site materials including balancing cut and fill and stripping, storage and reuse of topsoil, and the recycling / crushing and reuse on and offsite of onsite concrete
- ii. Measures for protection of listed buildings and SAM including control of access where appropriate (and restoration and management of Prestley Wood)
- iii. Advance planting of buffers/green wedges
- iv. Removal of boundary fences and proposed boundary treatment to the site
- v. Role of the Arboricultural Clerk of Works
- vi. Reconnecting public rights of way
- vii. Protection/storage/reuse of artefacts
- viii. Specification for allotments
- ix. Policing and site management
- x. Existing users - relocation and expansion
- xi. Infrastructure adoption principles
- xii. Open space management objectives and principles
- xiii. Management of Sustainable Drainage (SuDS) and water recycling

b) Ecological Mitigation & Management Strategy (to incorporate European Protected Species Mitigation)

- i. Creation of connected site wide ecological network and specification of woodland/buffers/green wedges (and SuDS)
- ii. Planting specification (native local species)
- iii. Measures for protection of habitats including measures for restriction of access to protected areas (County Wildlife Sites)
- iv. Inspection of buildings prior to demolition (notification and action of protected species identified)
- v. Role of the Ecological Clerk of Works
- vi. Location and specification of old hedgerow lines to be reinstated
- vii. European Protected Species Mitigation and translocation
- viii. Management and monitoring regime(s) by habitat type
- ix. Structure and content of site specific Ecological Management Plans
- x. Details of habitat clearance, creation, enhancement and phasing
- xi. Details of habitat and species protection measures during construction and operational phases
- xii. Proposals for the future mitigation and management of the Stukeley Railway Cutting SSSI

c) Community Facilities Delivery Strategy

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- i. Overall design quality - place making and community buildings
- ii. Nature and accessibility of community facilities
- iii. Role of the community in development and ownership of facilities
- iv. Shared use
- v. Provision of play areas and sports provision including sports pavilion, clubhouse and changing rooms
- vi. Location of play/youth facilities
- vii. Specifications for service provision
- viii. Co-location and integration of community facilities and services

d) Water Management Strategy

Surface water drainage strategy including:

- i. Use of water efficient infrastructure and installations
- ii. Water attenuation to create habitats
- iii. On site potable water storage
- iv. Site wide capture and re-use of water
- v. Monitoring of water quality
- vi. Management regimes
- vii. Prevention measures to prevent runoff and pollution, control runoff near source and management of water in a local area or site.

Foul water drainage strategy including:

- i. Location of pumping stations
- ii. On-site waste water treatment works or alternative provision as may be agreed with the Local Planning Authority and relevant Statutory bodies

The Strategy shall:

- i. Promote where practicable measures to control water at source
- ii. Include a site technical drawing
- iii. Include a plan defining water management catchments
- iv. Address ownership, management, maintenance and monitoring of all SuDS systems
- v. Demonstrate the capacity of measures to adequately manage surface water within the site
- vi. Demonstrate how surface, foul and grey water will be distributed around the site without causing detriment
- vii. Provide a solution to foul water drainage
- viii. Be based upon a SuDS management train
- ix. Address off-site conveyance, treatment and disposal parameters

e) Code of Construction Practice

- i. Waste recycling targets (80% on-site), monitoring arrangements and re-use of materials during construction

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- ii. Waste audit and waste management strategy in accordance with SWMP Regulations and policy CS28 of the Cambridgeshire and Peterborough Minerals and Waste Core Strategy Development Plan Document (July 2011)
- iii. Storage and processing of material and soils to be recycled on-site
- iv. Storage of fuel
- v. Specialist hazardous materials surveys as required
- vi. Access and signage strategy
- vii. Compounds - design, lighting and management
- viii. Prevention of mud and debris on highway
- ix. Construction lighting to minimise sky glow and intrusion or glare on surrounding areas.
- x. Vehicle operation
- xi. Lorry sheeting
- xii. Dust suppression
- xiii. Protection of advance planting and retained features
- xiv. Assessment of construction noise and mitigation
- xv. Mitigation of impact of safety lighting
- xvi. Restriction on works near sensitive habitats
- xvii. Pollution control measures including noise
- xviii. Travel Plan for construction employees
- xix. Measures for minimising the requirement for material to be imported or exported
- xx. Specification of materials and construction techniques that are resource-friendly
- xxi. Use of locally sourced materials, where possible
- xxii. Managing effectively the supply of goods to construction sites
- xxiii. Encouraging the development of sustainable supply chains for construction materials
- xxiv. Specifying the routes to be used for heavy vehicle construction movements including speed limits
- xxv. Managing the movement of workers into the Development
- xxvi. Hours of operation

8. Reason

To ensure the development of the site is progressed in accordance with an approved framework and related management practices.

- a) To identify future management arrangements for the various elements of open space and community infrastructure within the development site. Huntingdonshire Core Strategy (2009) policy CS1.
- b) To ensure that the development of the site protects, maintains and enhances ecology. Huntingdonshire Core Strategy (2009) policy CS1.
- c) To fix principles that will guide the delivery of community facilities at the development. Huntingdonshire Core Strategy (2009) policy CS1.
- d) In order to safeguard against the risk of flooding; to ensure adequate flood controls are considered; to detail the maintenance, efficient use and management of water within the site; to ensure the quality of the water entering receiving watercourses is appropriate and monitored; and

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to promote the use of sustainable drainage systems to limit the volume and velocity of water leaving the site. Huntingdonshire Core Strategy (2009) policy CS1.

e) To ensure the environmental impact of the construction of the development is adequately mitigated in the interests of the amenity of nearby residents/occupiers; and to comply with Guidance for Local Planning Authorities on Implementing Planning Requirements of the European Union Waste Framework Directive (2007/98/EC), Department for Communities and Local Government, December 2012.

9. Condition

Key Phase Definition

All information brought forward to define a Key Phase, shall conform with the Parameter Plan (ref. UAC002-220 - Rev T), the Development Specification as updated including the Spatial Principles, and the Design & Access Statement Principles identified in the Design and Access Statement and addendum to this approved as part of this permission, save for only minor variations where such variations do not deviate from this permission nor have any additional or materially different likely significant environmental effects to those assessed in the Environmental Statement accompanying the application.

All information brought forward to define a Key Phase shall conform with the relevant Site Wide Strategies and any relevant supplements.

Applications to define a Key Phase shall be submitted for the approval of the Local Planning Authority and be accompanied by the following:

- a) A plan defining the extent of the Key Phase.
- b) A schedule identifying the broad disposition of uses and quantum of development within the Key Phase including mix of dwelling types and the anticipated gross internal area (GIA) for all uses. This should include community facilities and any strategic open space provision (identifying, where appropriate, proposals for mega play spaces, NEAPs and LEAPs) and any temporary provisions which are likely to be required.
- c) Having regard to the trigger events set out in the S106 Agreement, details of any school proposed within the Key Phase.
- d) A statement as to the number of dwellings already practically completed (or likely to be so within 42 days of the date of the application to define the Key Phase) ("Dwellings Delivered") across each Key Phase previously defined.

Each submission to define a Key Phase should be accompanied by a written statement, for approval, which addresses the following:

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e) Justification for the definition and content of the Key Phase including the relationship with Key Phases already defined and any reserved matters already approved under condition No.18, and its contribution to (i) the wider vision as expressed within the Design & Access Statement; and (ii) the Affordable Housing Purpose as defined in the S106 agreement to include in circumstances where the number of Dwellings Delivered across the Site is fewer than 250 or the number of Dwellings Delivered on the previous Key Phase (in order of definition) is fewer than one third (rounded up) of the number of dwellings approved for that previous Key Phase a statement providing an explanation for the bringing forward of this Key Phase notwithstanding progress on the Site or the previous Key Phase as the case may be.

f) (i) A review of any previous monitoring, and travel demand measures being delivered including traffic surveys and public transport use; (ii) The contents/scope of the Key Phase Transport Assessment together with an initial indication of the mitigation measures required, which shall be in accordance with Department for Transport national guidance for Transport Assessment and will be agreed with the Local Planning Authority in consultation with the Highways Authorities. For the avoidance of doubt this is to include consideration of public rights of way.

g) The intended approach to the design specification (through a design code or design brief) and the scope of that design specification. The principles of this design specification are at an appendix to this condition.

h) Any proposed supplements to the Site Wide Strategies to address Key Phase specific issues. In particular, consideration should be given as to (i) whether the water management requirements are best addressed across the Key Phase area, having regard to the catchment boundaries for foul and surface water; and (ii) construction management and waste management issues across the Key Phase area including storage compounds and the location of materials stockpiles / temporary waste recycling compounds, and access and haulage routes. The scope of any such supplements should be submitted for approval.

9. Reason

To ensure the details of the development are acceptable to the Local Planning Authority in view of the nature and scale of the development proposed, and to clarify how the site is to be phased to assist with the determination of subsequent reserved matters applications.

10. Condition

Key Phase Framework

Following approval of the definition of the Key Phase, and prior to submission of the first Reserved Matters within the Defined Key Phase (other than any already submitted/approved as a reserved matter advanced outside a Key Phase under condition No.15 below) the following shall be submitted to and approved in writing by the Local Planning Authority, in relation to the Defined Key Phase, where required:

a) A Design Code or Design Brief in accordance with the scope agreed.

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DISTRICT COUNCIL

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- b) An indicative sequencing plan to set out how reserved matters applications within the Key Phase may be brought forward.
- c) A written scheme of archaeological investigation. This shall include a programme of archaeological works including (i) details of fieldwork; (ii) post excavation assessment; and (iii) post excavation analysis including preparation of site archive ready for deposition at a store approved by the Local Planning Authority; completion of an archive report; and the submission of a publication report. Implementation of the archaeological works shall proceed in accordance with the approved scheme.
- d) Where the material approved under condition No.9 proposes that a School be provided within the Key Phase or within the timescale of the Key Phase Delivery Plan, a plan identifying the site(s) and access arrangements.
- e) A Key Phase Transport Assessment adopting the scope agreed under condition No.9f above. This shall demonstrate that the level of transport movements likely to be generated by the quantum of development approved under condition No.9b, which, taking account of other Key Phases already defined (including the indicative Phase 1 assessed as part of the Transport Assessment submitted with the outline application), the progress of the development, monitoring of transport movements and existing and anticipated capacity on the highway network, and applying any proposed mitigation measures, is unlikely to give rise to a severe effect on the highway network.
- f) As identified in the Key Phase Transport Assessment: (i) a transport mitigation scheme comprising measures proposed with proposals for trigger events for the delivery of the measures (including any proposals for the periodic review of such measures) and (ii) a package of Key Phase Travel Plan measures in accordance with the Framework Travel Plan; and (iii) a package of traffic monitoring and surveys for the Key Phase.
- g) A Delivery Plan taking account of performance to date (including the discharge of obligations in respect of Reserved Matters Area Advanced Outside a Key Phase which lie within or adjoin the Defined Key Phase) setting out the proposed delivery programme in relation to each of the following as may be proposed within the Key Phase:
- i. Any School(s) (and, if appropriate, any temporary provision) stating the likely programme for the offer of the school site and payments (as appropriate) as required by the Section 106 agreement and based on the school delivery programme (phased, if appropriate) for the relevant School within the Section 106 agreement.
- ii. In order that the open space principles as defined in the Section 106 agreement are satisfied, strategic open space (including outdoor sports provision) stating the delivery programme for the relevant space which shall provide for the opening for use of the relevant space by the relevant backstop dates for provision, as set out in the Section 106 agreement.

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- iii. In order that the open space principles as defined in the Section 106 agreement are satisfied, any mega play space (including detailed design and full details of all adventure play and equipment areas, including surfacing materials).
 - iv. In order that the open space principles as defined in the Section 106 agreement are satisfied, any other open space or outdoor sports (and, if appropriate, any temporary provision) stating the delivery programme in order to meet the requirements of condition No.4 in relation to the Spatial Principles.
 - v. Any community and sports facilities (and, if appropriate, any temporary provision) stating the delivery programme with proposals for milestones within the Key Phase in order to meet the requirements of condition No.4 in relation to the Spatial Principles and to meet delivery events for the library and health facilities as set out in the Section 106 agreement.
 - vi. Any Early Years provision, to be promoted in accordance with the provisions of the Section 106 agreement.
 - vii. Primary services and drainage infrastructure including SuDS and water management infrastructure.
- h) Supplements to the Site Wide Strategies to address any phase specific requirements, not otherwise addressed in the Design Code/Design Brief, and as required.
- i) A Sustainability Statement setting out the sustainability targets for the phase of development in terms of energy, waste and water and drainage.

10. Reason

To ensure the details of the development are acceptable to the Local Planning Authority in view of the nature and scale of the development proposed, and to clarify how the site is to be phased to assist with the determination of subsequent reserved matters applications.

11. Condition

Travel Plan Implementation

No development is to commence/begin until the pre-construction measures in the approved Framework Travel Plan are implemented, together with the management, targets and monitoring structures outlined in the Travel Plan, and the Travel Demand Strategy outlined in Chapter 9 of the Transport Assessment submitted with the application.

11. Reason

To ensure that the local and strategic road networks continue to serve their purpose as part of a national system of routes for through traffic in accordance with Section 10 (2) of the Highways Act 1980 by minimizing disruption on the trunk road resulting from traffic entering and emerging from the application site and in the interests of road safety.

12. Condition

Access prior to first occupation

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Prior to the first occupation of any development hereby permitted the following access measures shall be completed to the written satisfaction of the Local Planning Authority:

- Proposed site access junction from the Rust Lane Interchange East ('Boulevard Gateway');
- Proposed site access from B1043 north of the Boulevard Gateway (HCV Access)

12. Reason

To ensure that the highway network is adequate to cater for the proposed development.
Huntingdonshire Core Strategy (2009) policy CS1 and CS10.

13. Condition

Access prior to occupation of 200 dwellings

Details of the following access measures shall be submitted and approved in writing by the Local Planning Authority and shall be constructed and ready for use before the occupation of the 200th dwelling hereby permitted:

- Proposed site access from Ermine Street (south);
- Provision within the site for safe and convenient pedestrian/cycle connection towards Huntingdon town centre

13. Reason

To ensure that the highway network is adequate to cater for the proposed development.
Huntingdonshire Core Strategy (2009) policy CS1 and CS10.

14. Condition

Conformity

All reserved matters applications shall conform with the Parameter Plan (ref. UAC002-220 Rev T), the Development Specification as updated including the Spatial Principles and the Design & Access Statement Principles identified in the Design & Access Statement and addendum to this approved as part of this permission, save only for minor variations where such variations do not deviate from this permission nor have any additional or materially different likely significant environmental effects to those assessed in the Environmental Statement accompanying the application.

All reserved matters application shall conform with the Site Wide Strategies and any relevant supplements.

Where reserved matters applications are brought forward within a Defined Key Phase (under conditions No.9 and No.10) they shall accord with the Key Phase Definition, Key Phase Framework Submissions and address all other relevant conditions. All reserved matters applications brought forward within a Defined Key Phase shall also accord with the Affordable Housing Delivery Plan for that Key Phase.

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Where reserved matters applications are advanced outside a key phase, under condition No.15, they shall also address relevant Reserved Matters conditions No. 18 to No.34.

All Reserved Matters Applications shall be accompanied by a written statement as part of the Planning Statement explaining how conformity is achieved.

14. Reason

To ensure the details of the development are carried out in accordance with the approved plans and particulars.

15. Condition

Reserved Matters Applications (Advanced Outside a Key Phase)

In exceptional circumstances* where it is necessary and/or beneficial to bring forward development in advance of the definition of a Key Phase and approval of the Key Phase Requirements a reserved matters application should address the relevant provisions in conditions No.18 - No.34:

Reserved Matters (Advanced Outside Key Phase) applications should also be accompanied by:

- a) A statement justifying submission of a Reserved Matters (Advanced Outside a Key Phase) application including, where relevant, the relationship with Key Phases already defined and any reserved matters already approved.
- b) A Transport Assessment or Transport Statement the scope of which has been agreed with the Local Planning Authority in consultation with the Highways Authorities explaining the transport impact arising from the proposed development within the Reserved Matters Area and taking account of: the Transport Assessment approved with the application; any subsequent Transport Assessment(s) (in accordance with condition No.10) and mitigation and Travel Plan measures already secured at the time of the reserved matters application; any additional mitigation or Travel Plan measures required in order to ensure that the development proposed within the reserved matters application is unlikely to give rise to a severe effect on the highway network.
- c) A statement setting out the proposed delivery programme in relation to any relevant triggers in the Section 106 agreement.
- d) A statement of conformity in accordance with condition No.14.
- e) A written scheme of archaeological investigation. This shall include a programme of archaeological works including (i) details of fieldwork; (ii) post excavation assessment; and (iii) post excavation analysis including preparation of site archive ready for deposition at a store approved by the local planning authority; completion of an archive report; and the submission of a publication report. Implementation of the archaeological works shall proceed in accordance with the approved scheme.

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f) A statement setting out details of how water management will be impacted and addressed within that water catchment as defined by the Site Wide Water Management Strategy and any supplements to that Strategy. The statement shall include compliance with all aspects of the Site Wide Water Management Strategy and, where relevant, inclusion of trigger points for provision of permanent and/or strategic infrastructure within defined catchments. The statement shall take account of and address the relationship with any key phases already defined and any reserved matters already approved.

*Exceptional circumstances may be deemed to apply in the case of infrastructure; demolition and advance works; employment uses; community uses and small scale residential development. Residential proposals will only be permitted under condition No.15 for up to 200 units across the site as a whole.

15. Reason

To ensure the details of the development are acceptable to the Local Planning Authority and that reserved matters applications cover all necessary matters without prejudicing Key Phase design and associated infrastructure.

16. Condition

Key Phase Enabling Works

To facilitate enabling works, following approval of the relevant Key Phase Definition, details of the following may be submitted for approval for enabling works within the defined Key Phase as required:

- i. Works to stabilise and support existing structures
- ii. Surveys including invasive works
- iii. Site clearance
- iv. Archaeological or ground investigations
- v. Erection of fencing or hoardings including site notices
- vi. Erection of security measures or lighting
- vii. The erection of temporary buildings, structures or compounds, directly linked to anticipated construction
- viii. Laying, removal or diversion of services
- ix. Remedial work in respect of contamination or other adverse ground conditions

16. Reason

To ensure the details of development are acceptable to the Local Planning Authority and to allow the Local Planning Authority to maintain control of the development.

17. Condition

No building or buildings shall be demolished or hard standing (including taxiways) removed until a demolition method statement for that building or buildings or removal of hard standing has been

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submitted to and approved in writing by the Local Planning Authority. The demolition of that building or buildings or removal of hard standing shall be carried out in accordance with the approved statement. The statement shall include:

- i) Measures to minimise dust and noise during demolition or removal
- ii) Details of the assessment for hazardous materials including asbestos
- iii) Details of any crushing facilities to be used
- iv) Where appropriate, definition of the areas of hard standing to be removed
- v) The location, anticipated duration and scale of any stockpiles.

17. Reason

In the interests of the amenity of neighbours.

18. Condition

Reserved Matters Applications - information to be addressed:

Plans and particulars submitted for each Reserved Matters application should, where relevant, address and include details (a) to (x) below and all matters identified in conditions No.21- No.34 for site locations with specific requirements or sensitivities:

- a) An updated Key Phase indicative sequencing plan.
- b) A tree survey showing trees to be retained, relocated or removed and provision of replacement trees, as appropriate and proposed tree protection plan as detailed in condition No.21.
- c) A plan identifying all existing buildings, to be demolished including floor area.
- d) Existing and proposed ground levels and finished floor levels of all new dwellings / buildings and any associated parking.
- e) Layout, scale, appearance and floor area of buildings to be constructed in line with the principles set out in the Key Phase Design Code/Brief or the Design & Access Statement Principles.
- f) Access routes and parking and cycle storage in accordance with the relevant Key Phase Design Code/Brief and Transport Assessment and Travel Plan.
- g) Landscape details including boundary treatments and surface materials.
- h) Youth facilities and play provision including detailed design and specification of youth facilities and play provision within the reserved matters site and including full details of all adventure play and equipment areas, including surfacing materials.
- i) Distribution and specification of affordable housing. Any reserved matters application for residential development shall include a plan showing the distribution of market and affordable homes, including the proposed tenure mix.
- j) Foul drainage in line with the Principles and Parameters of the Site Wide Water Management Strategy and any supplements and any relevant Key Phase Design Code/Design Brief.
- k) Surface water drainage in line with the Principles and Parameters of the Site Wide Water Management Strategy and any supplements and any relevant Key Phase Design Code/Design Brief.

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- l) A pollution management plan giving details of measures to be applied to prevent contamination of the water environment during construction and operation, including swales, filter strips and petrol interceptors.
- m) Ecological Mitigation measures in the form of an Ecological Management Plan reflecting the Principles set out in the Site Wide Ecological Mitigation and Management Strategy.
- n) A Sustainability Conformity Statement setting out how the development will achieve the targets agreed under condition No.20. Where applications are advanced outside a Key Phase, appropriate standards, in accordance with condition No.20, should be established and evidence of how those standards will be met provided.
- o) Detailed landscape management proposals in line with the principles established through the Site Wide Estate Management Strategy.
- p) Waste management provision including completion of the RECAP waste management design toolkit SPD and RECAP contributions assessment and a phased implementation scheme in accordance with the principles of the Code of Construction Practice.
- q) Position of fire hydrants. Within any reserved matters application a scheme for the provision of fire hydrants shall be submitted to the LPA. Thereafter development shall be carried out in accordance with this and be fully operational before first occupation in that Reserved Matters Area.
- r) Noise attenuation. Reserved matters applications for any residential/community development where the ambient noise climate exceeds 55db L (A) eq 16 hour free field during the day or 45 db L (A) eq 8 hour free field during the night shall be accompanied by a noise assessment and set out any appropriate mitigation measures to demonstrate how target noise levels will be achieved for internal and external amenity areas. The target noise levels are those contained in the World Health Organisation Guidelines for Community Noise 1999, or any replacement thereof. The development shall thereafter be carried out in accordance with the approved details.
- s) Details of external lighting having regard to the Ecological Mitigation and Management Strategy and reflecting the General Principles and locationally specific lighting designs identified in Chapter 16 of the Environmental Statement.
- t) A programme of works for delivery of the public realm including hard and soft landscaping and approach to adoption in line with the Site Wide Estate Management Strategy.
- u) Reserved matters applications shall include a Construction Management Plan to be submitted and approved in writing by the Local Planning Authority. This must be in accordance with the Principles set out in the Site Wide Code of Construction Practice and any supplements and include routing of construction traffic.
- v) Specific Travel Plan provisions and other transport mitigation measures for both construction and operational phases in line with the relevant Key Phase Transport Assessment approved under condition No.10f.
- w) Hours of operation to be agreed in writing with the Local Planning Authority.
- x) Details of community and sports facilities in accordance with the Site Wide Community Facilities Strategy and details of how these will be managed in accordance with the Site Wide Estate Management Strategy.

The development shall be carried out in accordance with the approved matters.

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18. Reason

To ensure the details of the development are acceptable to the Local Planning Authority and that reserved matters applications cover all necessary matters.

19. Condition

Superfast Broadband

With the exception of any enabling or infrastructure works, no development shall commence on each reserved matters area of the development until a strategy for the provision or facilitation of broadband to future occupants of that reserved matters area has been submitted to and approved in writing by the Local Planning Authority in consultation with Cambridgeshire County Council. The strategy shall ensure that upon occupation of each dwelling or commercial premises in that reserved matters area, the infrastructure to facilitate fibre optic cables from a site wide network to each dwelling or commercial premises contained within that reserved matters area has been provided in accordance with the approved details. Unless evidence is put forward and agreed in writing by the Local Planning Authority that technological advances for the provision of a superfast broadband service for the majority of potential customers will no longer necessitate below ground infrastructure, the development of the site shall be carried out in accordance with the approved strategy. Other forms of infrastructure, such as facilities supporting mobile broadband and Wi-Fi, should be included where possible and viable. Major infrastructure development must also provide ducting that is available for strategic fibre deployment. The approved strategy shall thereafter be implemented in accordance with its terms.

19. Reason

To provide high speed technology and communications in the interests of sustainability to reduce reliance and car-based travel, and to ensure that the needs of future residents to connect to the internet does not necessarily entail engineering works to an otherwise finished and high quality living environment.

20. Condition

All development will seek to achieve in excess of the Building Regulations in place at the time of the relevant Key Phase Definition approval. The Sustainability Statement, as required by condition No.10 above, will establish the standards to be achieved within each Key Phase and the Sustainability Conformity Statement, required under condition No.18 will demonstrate how this is to be achieved.

20. Reason

In the interests of reducing carbon dioxide emissions and promoting principles of sustainable construction and efficient use of buildings. Huntingdonshire Core Strategy (2009) policy CS1.

21. Condition

Trees, hedges and woodland

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a) Plans and particulars for each reserved matters application or discharge of condition application where there are existing trees or hedgerow shall include:

- an arboricultural method statement
- an arboricultural impact assessment
- a tree/hedgerow/woodland protection plan

The tree/hedgerow protection measures shall be erected prior to the commencement of any works including site clearance and thereafter retained until construction works are complete unless written consent is given by the Local Planning Authority for their removal.

No tree or hedgerow shall be felled, lopped or grubbed in anyway until the arboricultural reports are submitted to and approved in writing by the Local Planning Authority.

If any retained tree or hedge identified and agreed as being worthy of retention, is damaged or removed during a development phase, a revised scheme and implementation timetable shall be submitted to approved in writing by the Local Planning Authority.

b) Where relevant for each reserved matters application, details of proposed woodland as identified on the Parameter Plan shall be submitted to and approved in writing by the Local Planning Authority.

The plans and particulars submitted shall demonstrate conformity with the approved Site Wide Estate Management Strategy and development shall thereafter take place in accordance with the approved details and be managed as specified through the Strategy.

If within a period of five years from the date of the planting of any tree or shrub, or any tree or shrub planted in replacement, that tree or shrub is removed or up-rooted or destroyed or dies, another tree or shrub of the same species and size as that originally planted shall be planted as a replacement.

21. Reason

In the interests of visual amenities of the locality and protecting, maintaining and enhancing the range and vitality of characteristic habitats and species to create a viable ecological network. Huntingdonshire Core Strategy (2009) policy CS1.

22. Condition

Public rights of way safeguarding and diversion

Prior to the commencement of development within each reserved matters area, existing Public Rights of Way affected by the development of that application shall be protected and /or diverted in accordance with statutory procedures and with any scheme(s) previously submitted as reserved matters or through discharge of an appropriate condition. The plans and particulars submitted shall include details to:

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Head of Development

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- Divert and/or reinstate public footpaths and other rights of way
- Create new connections with surrounding footpaths
- Link to the existing footpath network including that to the Great Fen

Public Rights of Way which are temporarily diverted during the construction phase shall be returned to their original state or such state as shall be approved in writing in advance by the Local Planning Authority and made available for public use once the works which immediately affect them have been completed.

22. Reason

In the interests of promoting and increasing opportunities to make necessary journeys by foot, cycle or public transport. Huntingdonshire Core Strategy (2009) policy CS1.

23. Condition

Prestley Wood management plan

Development shall not commence/begin on the land currently known as Grange Farm until a Management Plan for the Prestley Wood Scheduled Monument and woodland has been prepared and approved by the Local Planning Authority. Works to the scheduled monument will be carried out in accordance with that Plan.

23. Reason

To ensure maintenance of the Prestley Wood scheduled monument heritage asset. Huntingdonshire Core Strategy (2009) policy CS1.

24. Condition

Ecological mitigation for the Stukeley Railway Cutting SSSI

Before access 'Option A' is implemented as shown on the Parameter Plan (ref UAC002-220 T) a detailed scheme to compensate for the loss of habitat within the existing SSSI including a programme for delivery of the scheme shall be submitted in accordance with the requirements of the Site Wide Ecological Mitigation and Management Strategy and approved in writing by the Local Planning Authority. The works shall thereafter be completed in accordance with the approved details to the satisfaction of the Local Planning Authority.

24. Reason

In the interests of protecting, maintaining and enhancing the range and vitality of characteristic habitats and species to create a viable ecological network. Huntingdonshire Core Strategy (2009) policy CS1.

25. Condition

Proposals for energy centres

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Where an energy centre is proposed plans and particulars shall be submitted with the relevant reserved matters application and approved in writing by the Local Planning Authority to include but not be limited to:

- Noise assessment to demonstrate that the emissions from the energy centres shall not exceed the maximum permitted noise night rating level 1 m from the façade of dwellings of 33db, and
- Air quality assessment providing a detailed air quality assessment would be required if the maximum pollutant significant emissions (tonnes/year) was triggered as identified in Table 7 of the Energy Strategy of the Environmental Statement 2012:
 - (i) NOx - 56 in 2016; 102 in 2026
 - (ii) PM10 - 9
 - (iii) SO2 - 45
- Technology and feedstock providing details of the proposed technology and feedstock, including storage arrangements and anticipated associated traffic movements for any imported feedstock materials.

The energy centre shall be constructed in accordance with the approved plans and particulars.

25. Reason

To minimise noise and other forms of pollution in the interests of residential amenity of future residents and occupiers. Huntingdonshire Core Strategy (2009) policy CS1.

26. Condition

Heritage Area Action Plan

When an application for reserved matters is submitted which proposes development within 150 m of the Heritage Area, identified on the Parameter Plan (ref: UAC002-220 T), a Heritage Area Action Plan shall be submitted as part of that reserved matters application. The Heritage Area Action Plan shall include measures for the future use and management of the Heritage Area and a delivery strategy and shall be submitted to and approved in writing by the Local Planning Authority. Development shall take place in accordance with the approved Heritage Area Action Plan.

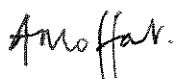
26. Reason

In the interests of conserving and managing buildings and features of historic interest and their setting. Huntingdonshire Core Strategy (2009) policy CS1.

27. Condition

Wall Art

Prior to the demolition of buildings identified in the Heritage Assessment as containing wall art, reasonable efforts must be made to retain and, where appropriate, to re-use that wall art, or should this not possible, to ensure the appropriate recording of that wall art and its display/archive.



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27. Reason

In the interests of conserving and managing the historic importance of the site. Huntingdonshire Core Strategy (2009) policy CS1.

28. Condition

Building recording and surveys

Prior to the demolition of the following buildings: building numbers 68, 90, 106, 107, 108, 200, 201, 205, 209, the 4100 series and 4000-4002, each shall be subject to additional recording to Level 3 (as identified in "Understanding Historic Buildings: a guide for good recording practice" 2006 Vols 1 - 3 published by English Heritage) or Level 2 where the building is a duplicate of another. Buildings 199, 200 & 201 should also be subject to a structural survey in accordance with a written methodology to be agreed in writing by the Local Planning Authority.

28. Reason

In the interests of conserving and managing the historic importance of the site. Huntingdonshire Core Strategy (2009) policy CS1.

29. Condition

Allotments

Any reserved matters applications that incorporate allotment provision shall include - a layout plan, access, turning and parking arrangements, location and form of community buildings, boundary treatment and water supply. Details shall include the quantity and quality of the topsoil to be brought onto the site and management guidelines submitted for the operation of the allotments by the allotment holders. Development and operation of the allotment shall take place in accordance with the approved details.

29. Reason

To ensure the details of the development are acceptable to the Local Planning Authority.

30. Condition

Ground Investigations and contamination

1. Within each Key Phase, unless otherwise agreed in writing by the Local Planning Authority, no development shall take place in areas identified as at risk of contamination in the Phase 1 Contaminated Land Desk Study, July 2012 (Appendix 17.1 of the Environmental Statement submitted with the outline planning application) until an assessment of the nature and extent of contamination for that area or identified cell of contamination has been submitted to and approved in writing by the Local Planning Authority. This assessment must be undertaken by a competent person, and shall assess any contamination on the site, whether or not it originates on the site. Moreover, it must include:

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The logo for Huntingdonshire District Council features a stylized landscape with a bridge and buildings under a curved line representing a horizon or sky. Below the graphic, the text "Huntingdonshire" is written in a large, serif font, and "DISTRICT COUNCIL" is written in a smaller, sans-serif font underneath.

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(i) a survey of the extent, scale and nature of contamination;

(ii) an assessment of the potential risks to:

human health,
property*,
adjoining land,
groundwaters and surface waters,
explosive ordnance, with reference to Chapter 17 of the Environmental Statement submitted with the outline planning application and the 'Explosive Ordnance Threat Assessment in respect of RAF Alconbury', report 3870TA, dated 19th April 2012 included as part of Appendix 17.1 of the Environmental Statement submitted with the outline planning application,
ecological systems, and
archaeological sites and ancient monuments.

*Property includes buildings, land, crops, livestock, pets, woodland and service lines and pipes

2. Submission of Remediation Scheme

Where contaminated is found which poses unacceptable risks, no development shall take place within that area or identified cell of contamination until a detailed remediation scheme for that area or identified cell of contamination has been submitted to and approved in writing by the Local Planning Authority. The scheme must include an appraisal of remedial options and proposal of the preferred option(s), all works to be undertaken, proposed remediation objectives and remediation criteria. The scheme must ensure that area or identified cell of contamination will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use.

3. Implementation of Approved Remediation Scheme

The approved remediation scheme for that area or identified cell of contamination shall be implemented and a verification report submitted to and approved in writing by the Local Planning Authority, prior to occupation or the development being brought into use in that area or identified cell of contamination.

4. Reporting of Unexpected Contamination

In the event that contamination is found at any time when carrying out the approved development, that was not previously identified, it must be reported immediately to the Local Planning Authority. Development on the part of the site affected must be halted and site investigations shall be carried out. Where required by the Local Planning Authority, remediation and verification schemes shall be submitted to and approved in writing by the Local Planning Authority. These shall be implemented prior to occupation, or the development being brought into use, on the site affected.

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Any changes to the above require the express written consent of the Local Planning Authority.

30. Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimized, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and others offsite in accordance with the National Planning Policy Framework (2012).

31. Condition

Network Rail land

Drainage

All surface and foul water arising from the development shall be collected and diverted away from Network Rail property unless an alternative scheme that does not affect safety, operational needs or integrity of the railway has been agreed in writing with the Local Planning Authority. All soakaways shall be located so as to discharge away from the railway infrastructure. The following elements shall be addressed, as necessary, in accordance with the site wide Water Management Strategy:

1. There shall be no increase to average or peak flows of surface water run off leading towards Network Rail assets, including earthworks, bridges and culverts.
2. All surface water run off and sewage effluent shall be handled in accordance with Local Council and Water Company regulations.
3. Attenuation shall be included as necessary to protect the existing surface water drainage systems from any increase in average or peak loadings due to normal and extreme rainfall events.
4. Attenuation ponds next to the railway shall be designed by a competent specialist engineer and shall include adequate storm capacity and overflow arrangements such that there is no risk of flooding of the adjacent railway line during either normal or exceptional rainfall events.

Security

Prior to the commencement of any development in the area formerly known as Grange Farm, a suitable trespass proof fence adjacent to Network Rail's boundary (minimum 1.8 m high) shall be provided, if not already in place, and provision made for its future maintenance and renewal.

An Armco or similar barrier shall be located at any turning area/roadway/car parking area adjacent to the operational railway. Network Rail's existing fencing / wall shall not be removed or damaged.

Method Statements

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Should any excavations/piling/buildings be located within 10 m of the railway boundary a method statement shall be submitted for approval to the Local Planning Authority and works thereafter implemented in accordance with the approved Method Statement.

Where any works cannot be carried out in a "fail-safe" manner, those works shall be restricted to periods when the railway is closed to rail traffic.

Landscaping

Any trees/shrubs which are to be planted adjacent to the railway boundary shall be positioned at a minimum distance greater than their predicted mature height from the boundary. Any hedge planted adjacent to Network Rail's boundary fencing for screening purposes should be placed so that when fully grown it does not damage the fencing or provide a means of scaling it. No planting should prevent Network Rail from maintaining its boundary fencing.

31. Reason

In the interests of safety, and the operational needs and integrity of the railway.

32. Condition

Prior to commencement of development plans and particulars for each reserved matters application shall include, where relevant, an Adoption Strategy to be submitted to and approved in writing by the Local Planning Authority. The Adoption Strategy shall set out:

- The elements of the transport network within the Reserved Matters Area which will be offered for adoption by the Local Highway Authority
- The elements of the transport network within the Reserved Matters Area which will be retained in private ownership, and the management arrangements for these elements of the network
- The elements of the recreational path network that will be offered for adoption as Public Rights of Way
- The elements of the recreational path network which will be retained in private ownership, and the management arrangements for these elements of the network

The approved Adoption Strategy for a Reserved Matters Area shall thereafter be implemented.

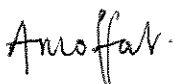
32. Reason

To identify future management arrangements for the various elements of the transport network within the development site.

33. Condition

Any development directly on the boundary of a primary school site shall be limited to not more than three storeys in height unless otherwise agreed in writing by the Local Planning Authority.

33. Reason



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To ensure that tall buildings adjacent to the school site do not create constraints on the design of the school with implications for fulfilling its safeguarding characteristics.

34. Condition

Clay Lane access

Prior to the opening of Clay Lane, a scheme for controlled access to the site to include emergency vehicles, public transport, pedestrians and cyclists only shall be submitted to and approved in writing by the Local Planning Authority. Implementation shall thereafter be in accordance with the approved details.

34. Reason

In the interests of promoting and increasing opportunities to make necessary journeys by foot, cycle or public transport. Huntingdonshire Core Strategy (2009) policy CS1.

35. Note to applicant

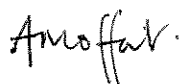
Network Rail land:

The applicant is made aware of the following comments received from Network Rail in relation to any works that may be carried out on land adjacent to railway land. Where works may affect the railway the applicant should gain appropriate approvals from Network Rail.

Excavation/Earthworks - all excavations/earthworks carried out in the vicinity of Network Rail property/structures must be designed and executed such that no interference with the integrity of that property/structure can occur. If temporary works compounds are to be located adjacent to the operational railway, these should be included in a method statement for approval by Network Rail. Prior to commencement of works, full details of excavations and earthworks to be carried out near the railway undertaker's boundary fence should be submitted for the approval of the Local Planning Authority acting in consultation with the railway undertaker and the works shall only be carried out in accordance with the approved details. Where development may affect the railway, consultation with the Asset Protection Project Manager should be undertaken. Network Rail will not accept any liability for any settlement, disturbance or damage caused to any development by failure of the railway infrastructure nor for any noise or vibration arising from the normal use and/or maintenance of the operational railway. No right of support is given or can be claimed from Network Rail's infrastructure or railway land.

Security of mutual boundary - Security of the railway boundary will need to be maintained at all times. If the works require temporary or permanent alterations to the mutual boundary the applicant must contact Network Rail's Asset Protection Project Manager.

Tower cranes - Tower crane usage adjacent to railway infrastructure is subject to stipulations on size, capacity etc. which needs to be agreed by the Network Rail Asset Protection Project Manager prior to implementation.



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Two metre boundary - Consideration should be given to ensure that the construction and subsequent maintenance can be carried out to any proposed buildings or structures without adversely affecting the safety of, or encroaching upon Network Rail's adjacent land, and therefore all/any building should be situated at least 2 metres from Network Rail's boundary. This will allow construction and future maintenance to be carried out from the applicant's land, thus reducing the probability of provision and costs of railway look-out protection, supervision and other facilities necessary when working from or on railway land.

Noise/soundproofing - The Developer is made aware that any development for residential use adjacent to an operational railway may result in neighbour issues arising. Consequently every endeavour should be made by the developer to provide adequate soundproofing for each dwelling. Please note that in a worst case scenario there could be trains running 24 hours a day and the soundproofing should take this into account.

Trees - Lists of trees that are permitted adjacent to railway land and those that are not permitted adjacent to railway land are provided below and these should be added to any tree planting conditions:

Acceptable:

Birch (Betula), Crab Apple (Malus Sylvestris), Field Maple (Acer Campestre), Bird Cherry (Prunus Padus), Wild Pear (Pyrus Communis), Fir Trees - Pines (Pinus), Hawthorne (Cretaegus), Mountain Ash - Whitebeams (Sorbus), False Acacia (Robinia), Willow Shrubs (Shrubby Salix), Thuja Plicatata "Zebrina"

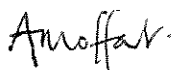
Not Acceptable:

Alder (Alnus Glutinosa), Aspen - Poplar (Populus), Beech (Fagus Sylvatica), Wild Cherry (Prunus Avium), Hornbeam (Carpinus Betulus), Small-leaved Lime (Tilia Cordata), Oak (Quercus), Willows (Salix Willow), Sycamore - Norway Maple (Acer), Horse Chestnut (Aesculus Hippocastanum), Sweet Chestnut (Castanea Sativa), London Plane (Platanus Hispanica).

A comprehensive list of permitted tree species is available upon request.

Access to railway - All roads, paths or ways providing access to any part of the railway undertaker's land shall be kept open at all times during and after the development. There are two maintenance access points identified in the vicinity of the proposals at 523633,274243 and 523620,275202 which need to be taken into account in any proposed scheme and preserved for future use.

Children's play areas/open spaces/amenities - Children's play areas, open spaces and amenity areas must be protected by a secure fence along the boundary of railway land of one of the following kinds, concrete post and panel, iron railings, steel palisade or such other fence



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approved by the Local Planning Authority acting in consultation with the railway undertaker to a minimum height of 2 metres and the fence should not be able to be climbed. Network Rail is required to recover all reasonable costs associated with facilitating these works.

36. Note to applicant

Potential future adoption of highways:

If any of the internal road networks were to be adopted at any point in the future it would need to conform to Cambridgeshire County Council's current specification in relation to construction depths of roads and footways, street lighting and drainage.

37. Note to applicant

Superfast broadband:

Cambridgeshire County Council supports the expansion and provision of high speed broadband technology in all parts of the district in accordance with UK Government targets of fast reliable broadband for all and access to superfast broadband for at least 95% of the UK. To enable this, it will be important for all new residential, employment and commercial developments to be future proofed by providing infrastructure to enable fibre broadband to be delivered to premises. This should be designed and installed as an integral part of development, to minimise visual impact and future disturbance during maintenance. All telecommunications infrastructure should be capable of responding to changes in technology requirements over the period of the development.

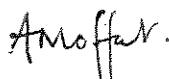
38. Note to applicant

Statement as to how the Local Planning Authority (LPA) has worked with the applicant in a positive and proactive manner on seeking solutions:

The LPA positively encourages pre-application discussions and makes clear that applications will then normally be determined as submitted. Details of the 'Pre-Application Advice' process can be found on the Planning pages on the Council's website www.huntingdonshire.gov.uk. If, as proposed, a development is considered unacceptable and it is apparent how it can be revised to make it acceptable, the LPA will set out how it can be amended to make it acceptable as part of its response to a pre-application enquiry. When an application is received, conditions will be used where they can make a development acceptable. A clear reason for refusal identifies the specific reasons why the development is unacceptable and helps the applicant to determine whether and how the proposal can be revised to make it acceptable. In relation to this application, it was considered and the process managed in accordance with Paragraphs 186 and 187 of the NPPF.

39. Note to applicant

All environmental information has been taken into full consideration by the Local Planning Authority in reaching this decision.



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40. Note to applicant

Design Specification content:

The Design Code or Design Brief shall be prepared in accordance with the principles and parameters established in the Design & Access Statement and the outline application and shall include both strategic and more detailed elements.

Where relevant, the Design Code or Design Brief shall provide an assessment of adjoining and overlapping design coding associated with previous and adjoining Key Phases, and will provide an overview of the context for the Key Phase.

The Design Code or Design Brief shall include:

- a) A regulatory plan that establishes the framework for development within each Key Phase. The regulatory plan is the key plan associated with the Design Code or Design Brief, and the content of the plan and its associated key will inform the structure of the Design Code or Design Brief.
- b) The character, mix of uses and density established through the parameter plans at the outline stage to include the block principles and the structure of public spaces;
- c) The street hierarchy, including the principles of adopting highway infrastructure, and typical street cross-sections;
- d) How the design of the streets and spaces takes into account mobility and visually impaired users;
- e) Block principles to establish use, density and building typologies. In addition, design principles including primary frontages, pedestrian access points, fronts and backs and perimeter of building definition;
- f) Key groupings and other key buildings including information about height, scale, form, level of enclosure, building materials and design features;
- g) The conceptual design and approach to the treatment of the public realm
- h) Approach to incorporation of ancillary infrastructure such as pipes, flues, vents, meter boxes, fibres, wires and cables required by statutory undertakers as part of building design;
- i) Details of the approach to vehicular parking;
- j) Details of the approach to cycle parking for all uses and for each building type, including the distribution (resident/visitor parking and location in the development), type of rack, spacing and any secure or non-secure structures associated with the storage of cycles.

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- k) The approach to the character and treatment of landscape features and the structural planting to the development areas;
- l) The approach to the treatment of any hedge or footpath corridors and retained trees and woodlands;
- m) The conceptual design and approach to sustainable drainage management and how this is being applied to the built-up area to control both water volume and water quality including specification of palette of sustainable drainage features to be used, and planting strategies to enhance biodiversity and improve water quality as much as possible before discharge into ponds and basins;
- n) The conceptual design and approach of the public realm to include public art, materials, signage, utilities and any other street furniture.
- o) The conceptual design and approach to the lighting strategy and how this will be applied to different areas of the development with different lighting needs, so as to maximise energy efficiency, minimise light pollution and avoid street clutter;
- p) Details of waste and recycling provision for all building types and underground recycling points.
- q) Measures to demonstrate how opportunities to maximise resource efficiency and climate change adaptation in the design of the development will be achieved through external, passive means, such as landscaping, orientation, massing, and external building features;
- r) Details of measures to measures to minimise opportunities for crime;
- s) Details of Design Code or Design Brief review procedure and of circumstances where a review shall be implemented.
- t) The Design Code or Design Brief that relates to Development Area 3 shall have specific regard to the setting of Prestley Wood.

41. Note to applicant

A fee is payable for each "request" when submitting details pursuant to a condition or conditions of this permission that require(s) details to be submitted to and approved by the Local Planning Authority (i.e. details submitted under Article 21 of the Town and Country Planning (General Development Procedure) Order). Further details on what constitutes a "request" can be found in the "Guidance Note - Fees for confirmation of compliance with condition attached to a planning permission". The appropriate fee can be found in the "Planning Fees Form". Both documents can

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be viewed via www.huntsdc.gov.uk. The Local Planning Authority should give written confirmation within a period of 8 weeks from the date on which the request and fee are received.

42. Note to applicant

This development is subject to a Section 106 legal agreement.

43. Note to applicant

The development is subject to the Community Infrastructure Levy Regulations (2010) (as amended) (or such replacement thereof)

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NOTES

1. **Rights of Appeal under the Town and Country Planning Act, 1990 Section 78, The Planning (Listed Buildings and Conservation Areas) Act 1990 Section 20 and the Town and Country Planning (Control of Advertisement) Regulations 1989.**
2. If the applicant is aggrieved by the decision of the Local Planning Authority to refuse permission for the proposed development or to grant permission subject to conditions, he/she may appeal to the Secretary of State responsible for planning within;
 - **Six months from the date of this decision notice.**
 - **Eight weeks from the date of this notice if the decision relates to an advertisement.**
3. Appeals must be made on a form which is obtainable from the Planning Inspectorate, Customer Support Unit, Temple Quay House, 2 The Square, Temple Quay, Bristol BS1 6PN. Alternatively all forms can be downloaded from their website www.planning-inspectorate.gov.uk. The Secretary of State has power to allow a longer period for the giving of a notice of appeal but he will not normally be prepared to exercise this power unless there are special circumstances, which excuse the delay in giving notice of appeal. The Secretary of State is not required to entertain an appeal if it appears to him that permission for the proposed development could not have been granted by the Local Planning Authority, or could not have been so granted otherwise than subject to the conditions imposed by them, having regard to the statutory requirements, to the provisions of the Development Orders and to any directions given under the Orders. He does not, in practice, refuse to entertain appeals solely because the decision of the Local Planning Authority was based on a direction given by him.
4. If permission to develop land is refused or granted subject to conditions, whether by the Local Planning Authority or by the Secretary of State responsible for planning and the owner of the land claims that the land has become incapable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, he may serve on the Council of the County District in which the land is situated a purchase notice requiring that Council to purchase his interest in the land in accordance with the provision of Part VI of the Town and Country Planning Act, 1990.
5. In certain circumstances, a claim may be made against the Local Planning Authority for compensation where permission is refused or granted subject to conditions by the Secretary of State on appeal or on a reference of an application to him. The circumstances in which such compensation is payable are set out in Section 114 of the Town and Country Planning Act 1990.
6. This decision notice does not convey any approval or consent which may be required under any enactment, bye-law or regulation other than Section 57 of the Town and Country Planning Act 1990.

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S73 DRAFT CONDITIONS CHANGES SCHEDULE

No.	Original Condition Wording	Proposed Updated Condition Wording	Comments
1	<p>The first application for approval of reserved matters namely access, appearance, landscaping, layout and scale shall be made to the Local Planning Authority no later than three years from the date of this permission. Applications for approval of all subsequent reserved matters for each part of the development including reserved matters applications advanced outside a Key Phase shall be made to the Local Planning Authority no later than twenty years from the date of this permission. Such development to which those reserved matters applications relate shall be begun no later than the expiration of two years from the final approval of those reserved matters.</p>	<p>Applications for approval of all reserved matters for each part of the development including reserved matters applications advanced outside a Key Phase shall be made to the Local Planning Authority within the period beginning with the date of this permission and ending on 30 September 2034. Such development to which those reserved matters applications relate shall be begun no later than the expiration of two years from the final approval of those reserved matters.</p>	<p>Text amended to reflect that the first reserved matters has now been submitted and this s73 will result in the issuing of a new planning permission.</p>
2	<p>Plans and particulars of the reserved matters referred to in Condition No.1, relating to access, appearance, landscaping, layout and scale, shall be submitted to and approved in writing by the Local Planning Authority in respect of any part of the development of the site before any development commences within that part of the site.</p>	-	<p>No change required</p>
3	<p>Development shall be undertaken in phases (in this condition meaning a Reserved Matters Area). Development shall not commence unless: a) the proposed development falls within a Defined Key Phase and an identified Reserved Matters Area; or b) the proposed development is identified as Development Advanced Outside a Key Phase in relation to which all reserved matters should be submitted to and approved in writing by the Local Planning Authority as Reserved Matters Applications approved Outside a Key Phase in accordance with Condition No.15.</p>	<p>Development shall be undertaken in phases (in this condition meaning a Reserved Matters Area). Development shall not commence unless: a) the proposed development falls within a Defined Key Phase and an identified Reserved Matters Area; or b) the proposed development is identified as Development Advanced Outside a Key Phase in relation to which all reserved matters should be submitted to and approved in writing by the Local Planning Authority as Reserved Matters Applications approved Outside a Key Phase in accordance with Condition No.12.</p>	<p>Changes to reflect condition renumbering</p>

4	Development shall conform with the Parameter Plan (ref. UAC002-220 - Rev T), and the Updated Development Specification June 2013 including the Spatial Principles; and the Design & Access Statement Principles identified in The Design & Access Statement June 2012 and the Addendum to the Design & Access Statement July 2013, which are hereby approved as part of this permission, save for only minor variations where such variations do not deviate from this permission nor have any additional or materially different likely significant environmental effects to those assessed in the Environmental Statement accompanying the application.	Development shall conform with the Parameter Plan (ref. UAC060-001 - Rev F), and the Updated Development Specification xxx 2023 including the Spatial Principles; and the consolidated Design & Access Statement Principles contained in the DAS Addendum xxx, which are hereby approved as part of this permission, save for only minor variations where such variations do not deviate from this permission nor have any additional or materially different likely significant environmental effects to those assessed in the Environmental Statement accompanying the application.	References to documents to be updated in relation to s73 documentation
5	The plans and particulars of each relevant reserved matters application shall not exceed the maximum parameters of development set out in the updated Development Specification	The plans and particulars of each relevant reserved matters application shall not exceed the maximum parameters of development set out in the updated Development Specification received xx/xx/xx	References to documents to be updated in relation to s73 documentation
6	Development shall not commence unless, in accordance with the approved Estate Management Strategy and Ecological Mitigation and Management Strategy, a suitably qualified ecological clerk(s) of works has been appointed.	Development shall proceed in accordance with the approved Estate Management Strategy and updated Ecological Mitigation and Management Strategy received xx/xx/xx.	References to documents to be updated in relation to s73 documentation and to reflect that existing documents have been approved.
7	Development shall not commence until the site wide Framework Travel Plan submitted in support of the Outline Planning Application Transport Assessment (August 2012) has been reviewed and updated as necessary, and submitted to and approved by the Local Planning Authority. A scheme for the monitoring of the effects of the measures identified in the Implementation Plan as set out in the Framework Travel Plan shall be submitted to and approved in writing by the Local Planning Authority prior to the first occupation of development. Thereafter the approved plan shall be subject to monitoring and updated, as appropriate, (in such form first approved by the Local Planning Authority) through each Key Phase Transport Assessment and Key Phase Travel Plan as part of the Key Phase Framework.	The FTP mitigation measures approved as part of the Framework Travel Plan Version 5 (dated February 2015) shall be subject to monitoring and updated, as appropriate through each Key Phase Transport Assessment and Key Phase Travel Plan as part of the Key Phase Framework.	The first part of this condition has been discharged, amended to reflect this.

8	<p>Development shall not commence and no Key Phase Framework shall be submitted for approval pursuant to condition No.10 until the following site wide strategies have been submitted to and approved in writing by the Local Planning Authority. These strategies shall be in accordance with relevant information submitted with the outline planning application, as amended. These strategies will establish broad, site wide principles, objectives, parameters and targets, under the following headings: List not included for brevity.</p>	<p>Development shall proceed in accordance with the following site wide strategies:</p> <ul style="list-style-type: none"> Estate Management Strategy—approved (04/12/14 Ref: 1408220COND); Ecological Mitigation & Management Strategy—received xx/xx/xx; Community Facilities Delivery Strategy—approved (04/12/14 Ref: 1408220COND); Water Management Strategy—received xx/xx/xx; and Code of Construction Practice—received xx/xx/xx <p>Should updates to the above strategies be required, they would be required to address the following headings: REPEAT DOCUMENT REQUIREMENTS IN CONDITION 8</p>	<p>Update required to address updated documents submitted with the s73 and SWS's already approved.</p>
9	<p>Key Phase Definition All information brought forward to define a Key Phase, shall conform with the Parameter Plan (ref. UAC002-220 - Rev T), the Development Specification as updated including the Spatial Principles, and the Design & Access Statement Principles identified in the Design and Access Statement and addendum to this approved as part of this permission, save for only minor variations where such variations do not deviate from this permission nor have any additional or materially different likely significant environmental effects to those assessed in the Environmental Statement accompanying the application. All information brought forward to define a Key Phase shall conform with the relevant Site Wide Strategies and any relevant supplements. Applications to define a Key Phase shall be submitted for the approval of the Local Planning Authority and be accompanied by the following: List not included for brevity.</p>	<p>Key Phase Definition: All applications for the Definition of a Key Phase, other than Key Phase 1 as approved on 17/11/20 (Application Ref: 19/80094/COND), Key Phase 2 as approved on 02/02/2023 (Application Ref: 21/80384/COND) and Key Phase 3 as approved on 17/06/2022 (Application Ref: 21/80384/COND) shall be submitted and approved in writing by the Local Planning Authority. All information brought forward to define a Key Phase, (or a re-define an approved Key Phase), shall conform with the Parameter Plan (ref. UAC060-001 - Rev F), the Development Specification as updated including the Spatial Principles, and the Design & Access Statement Principles identified in the Design and Access Statement and addendum to this approved as part of this permission, save for only minor variations where such variations do not deviate from this permission nor have any additional or materially different likely</p>	<p>Reference changes to reflect approval of KP1, KP2 and KP3 Definitions.</p>

		<p>significant environmental effects to those assessed in the Environmental Statement accompanying the application.</p> <p>All information brought forward to define a Key Phase shall conform with the relevant Site Wide Strategies and any relevant supplements.</p> <p>Applications to define a Key Phase and be accompanied by the following:</p> <p>List repeated in full:</p>	
10	<p>Key Phase Framework</p> <p>Following approval of the definition of the Key Phase, and prior to submission of the first Reserved Matters within the Defined Key Phase (other than any already submitted/approved as a reserved matter advanced outside a Key Phase under condition No.15 below) the following shall be submitted to and approved in writing by the Local Planning Authority, in relation to the Defined Key Phase, where required: List not included for brevity.</p>	<p>Key Phase Framework</p> <p>Following approval of the definition of the Key Phase, and prior to submission of the first Reserved Matters within the Defined Key Phase (other than any already submitted/approved as a reserved matter advanced outside a Key Phase under condition No.12 below) and with the exception of the Key Phase 1 Framework as approved on 17/11/20 (Application Ref: 19/80094/COND), the Key Phase 2 Framework as approved on xx/xx/xx (Application Ref: 23/80349/COND) and the KP3 Frameworks as approved on xx/xx/xx (Application Ref: 22/80374/COND) the following shall be submitted to and approved in writing by the Local Planning Authority, in relation to the Defined Key Phase, where required:</p> <p>Include existing Condition 10 list:</p>	<p>Reference changes to reflect the approval of KP1, KP2 and the expected approval of the KP3 Framework.</p>
11	<p>Travel Plan Implementation</p> <p>No development is to commence/begin until the pre-construction measures in the approved Framework Travel Plan are implemented, together with the management, targets and monitoring structures outlined in the Travel Plan, and the Travel Demand Strategy outlined in Chapter 9 of the Transport Assessment submitted with the application.</p>	<p>No development is to commence/begin until the pre-construction measures in the approved Framework Travel Plan are implemented, together with the management, targets and monitoring structures outlined in the Travel Plan, and the Travel Demand Strategy outlined in Chapter 9 of the Transport Assessment submitted with the application.</p>	<p>DELETE CONDITION - This condition has been discharged</p>

12	<p>Access prior to first occupation</p> <p>Prior to the first occupation of any development hereby permitted the following access measures shall be completed to the written satisfaction of the Local Planning Authority:</p> <ul style="list-style-type: none"> - Proposed site access junction from the Rust Lane Interchange East ('Boulevard Gateway'); - Proposed site access from B1043 north of the Boulevard Gateway (HGV Access) 	<p>Access prior to first occupation</p> <p>Prior to the first occupation of any development hereby permitted the following access measures shall be completed to the written satisfaction of the Local Planning Authority:</p> <ul style="list-style-type: none"> Proposed site access junction from the Rust Lane Interchange East ('Boulevard Gateway'); Proposed site access from B1043 north of the Boulevard Gateway (HGV Access) 	<p>DELETE CONDITION - This condition has been discharged</p>
13	<p>Access prior to occupation of 200 dwellings</p> <p>Details of the following access measures shall be submitted and approved in writing by the Local Planning Authority and shall be constructed and ready for use before the occupation of the 200th dwelling hereby permitted:</p> <p>Proposed site access from Ermine Street (south);</p> <p>Provision within the site for safe and convenient pedestrian/cycle connection towards Huntingdon town centre</p>	<p>Access prior to occupation of 200 dwellings</p> <p>Details of the following access measures shall be submitted and approved in writing by the Local Planning Authority and shall be constructed and ready for use before the occupation of the 200th dwelling hereby permitted:</p> <p>Proposed site access from Ermine Street (south);</p> <p>Provision within the site for safe and convenient pedestrian/cycle connection towards Huntingdon town centre</p>	<p>DELETE CONDITION - This condition will be fully discharged prior to the approval of this s73</p>
14 11	<p>Conformity</p> <p>All reserved matters applications shall conform with the Parameter Plan (ref. UAC002-220 Rev T), the Development Specification as updated including the Spatial Principles and the Design & Access Statement Principles identified in the Design & Access Statement and addendum to this approved as part of this permission, save only for minor variations where such variations do not deviate from this permission nor have any additional or materially different likely significant environmental effects to those assessed in the Environmental Statement accompanying the application.</p> <p>All reserved matters application shall conform with the Site Wide Strategies and any relevant supplements.</p> <p>Where reserved matters applications are brought forward within a Defined Key Phase (under conditions No.9 and No.10) they shall accord with the Key Phase Definition, Key Phase Framework Submissions and address all other relevant conditions. All reserved matters applications brought forward within a Defined Key Phase shall also accord with the Affordable Housing Delivery Plan for that Key Phase.</p>	<p>Conformity</p> <p>All reserved matters applications shall conform with the Parameter Plan (ref. UAC060-001 - Rev F), the Development Specification as updated 2023 including the Spatial Principles and the Design & Access Statement Principles identified in the Design & Access Statement as updated in 2019 and approved as part of this permission, save only for minor variations where such variations do not deviate from this permission nor have any additional or materially different likely significant environmental effects to those assessed in the Environmental Statement and its 2019 addendum accompanying the application.</p> <p>All reserved matters application shall conform with the Site Wide Strategies and any relevant supplements.</p> <p>Where reserved matters applications are brought forward within a Defined Key Phase (under conditions No.9 and No.10) they shall accord with the Key Phase Definition, Key Phase Framework Submissions and address all other relevant conditions. All reserved matters applications brought forward within a Defined Key Phase shall also accord with the Affordable Housing Delivery Plan for that Key Phase.</p>	<p>Minor text change to reflect updated application package. s73</p>

	<p>Where reserved matters applications are advanced outside a key phase, under condition No.15, they shall also address relevant Reserved Matters conditions No.18 to No.34.</p> <p>All Reserved Matters Applications shall be accompanied by a written statement as part of the Planning Statement explaining how conformity is achieved.</p>	<p>Where reserved matters applications are advanced outside a key phase, under condition No.12, they shall also address relevant Reserved Matters conditions No.18 to No.34.</p> <p>All Reserved Matters Applications shall be accompanied by a written statement as part of the Planning Statement explaining how conformity is achieved.</p>	
15 12	<p>Reserved Matters Applications (Advanced Outside a Key Phase)</p> <p>In exceptional circumstances* where it is necessary and/or beneficial to bring forward development in advance of the definition of a Key Phase and approval of the Key Phase Requirements a reserved matters application should address the relevant provisions in conditions No.18 - No.34:</p> <p>Reserved Matters (Advanced Outside Key Phase) applications should also be accompanied by:</p> <p>List excluded for brevity</p> <p>*Exceptional circumstances may be deemed to apply in the case of infrastructure; demolition and advance works; employment uses; community uses and small scale residential development.</p> <p>Residential proposals will only be permitted under condition No.15 for up to 200 units across the site as a whole.</p>	<p>Reserved Matters Applications (Advanced Outside a Key Phase)</p> <p>In exceptional circumstances* where it is necessary and/or beneficial to bring forward development in advance of the definition of a Key Phase and approval of the Key Phase Requirements a reserved matters application should address the relevant provisions in conditions No.18 - No.34:</p> <p>Reserved Matters (Advanced Outside Key Phase) applications should also be accompanied by:</p> <p>List excluded for brevity</p> <p>*Exceptional circumstances may be deemed to apply in the case of infrastructure; demolition and advance works; employment uses; community uses and small scale residential development.</p> <p>Residential proposals will only be permitted under condition No.15 for up to 200 units across the site as a whole.</p>	Changes due to condition number changes
16 13	<p>Key Phase Enabling Works</p> <p>To facilitate enabling works, following approval of the relevant Key Phase Definition, details of the following may be submitted for approval for enabling works within the defined Key Phase as required:</p> <p>Works to stabilise and support existing structures</p> <p>Surveys including invasive works</p> <p>Site clearance, Archaeological or ground investigations</p> <p>Erection of fencing or hoardings including site notices</p> <p>Erection of security measures or lighting</p> <p>The erection of temporary buildings, structures or compounds, directly linked to anticipated construction</p>	-	No change required

	Laying, removal or diversion of services Remedial work in respect of contamination or other adverse ground conditions		
17 14	No building or buildings shall be demolished or hard standing (including taxiways) removed until a demolition method statement for that building or buildings or removal of hard standing has been submitted to and approved in writing by the Local Planning Authority. The demolition of that building or buildings or removal of hard standing shall be carried out in accordance with the approved statement. The statement shall include: Measures to minimise dust and noise during demolition or removal Details of the assessment for hazardous materials including asbestos Details of any crushing facilities to be used Where appropriate, definition of the areas of hard standing to be removed The location, anticipated duration and scale of any stockpiles.	-	No change required
18 15	Reserved Matters Applications - information to be addressed: Plans and particulars submitted for each Reserved Matters application should, where relevant, address and include details (a) to (x) below and all matters identified in conditions No.21- No.34 for site locations with specific requirements or sensitivities: List not included for brevity	Reserved Matters Applications - information to be addressed: Plans and particulars submitted for each Reserved Matters application should, where relevant, address and include details (a) to (x) below and all matters identified in conditions No.18- No.30 for site locations with specific requirements or sensitivities: List not included for brevity	Condition amended to reflect condition numbering changes.
19 16	Superfast Broadband With the exception of any enabling or infrastructure works, no development shall commence on each reserved matters area of the development until a strategy for the provision or facilitation of broadband to future occupants of that reserved matters area has been submitted to and approved in writing by the Local Planning Authority in consultation with Cambridgeshire County Council. The strategy shall ensure that upon occupation of each dwelling or commercial premises in that reserved matters area, the infrastructure to facilitate fibre optic	-	No change required

	<p>cables from a site wide network to each dwelling or commercial premises contained within that reserved matters area has been provided in accordance with the approved details. Unless evidence is put forward and agreed in writing by the Local Planning Authority that technological advances for the provision of a superfast broadband service for the majority of potential customers will no longer necessitate below ground infrastructure, the development of the site shall be carried out in accordance with the approved strategy. Other forms of infrastructure, such as facilities supporting mobile broadband and Wi-Fi, should be included where possible and viable. Major infrastructure development must also provide ducting that is available for strategic fibre deployment. The approved strategy shall thereafter be implemented in accordance with its terms.</p>		
20 17	<p>All development will seek to achieve in excess of the Building Regulations in place at the time of the relevant Key Phase Definition approval. The Sustainability Statement, as required by condition No.10 above, will establish the standards to be achieved within each Key Phase and the Sustainability Conformity Statement, required under condition No.18 will demonstrate how this is to be achieved.</p>	<p>All development will seek to achieve in excess of the Building Regulations in place at the time of the relevant Key Phase Definition approval. The Sustainability Statement, as required by condition No.10 above, will establish the standards to be achieved within each Key Phase and the Sustainability Conformity Statement, required under condition No.15 will demonstrate how this is to be achieved.</p>	<p>Condition amended to reflect condition numbering changes.</p>
21 18	<p>Trees, hedges and woodland Plans and particulars for each reserved matters application or discharge of condition application where there are existing trees or hedgerow shall include:</p> <ul style="list-style-type: none"> • an arboricultural method statement • an arboricultural impact assessment • a tree/hedgerow/woodland protection plan <p>The tree/hedgerow protection measures shall be erected prior to the commencement of any works including site clearance and thereafter retained until construction works are complete unless written consent is given by the Local Planning Authority for their removal.</p>	-	<p>No change required</p>

<p>No tree or hedgerow shall be felled, lopped or grubbed in anyway until the arboricultural reports are submitted to and approved in writing by the Local Planning Authority.</p> <p>If any retained tree or hedge identified and agreed as being worthy of retention, is damaged or removed during a development phase, a revised scheme and implementation timetable shall be submitted to approved in writing by the Local Planning Authority.</p> <p>Where relevant for each reserved matters application, details of proposed woodland as identified on the Parameter Plan shall be submitted to and approved in writing by the Local Planning Authority.</p> <p>The plans and particulars submitted shall demonstrate conformity with the approved Site Wide Estate Management Strategy and development shall thereafter take place in accordance with the approved details and be managed as specified through the Strategy.</p> <p>If within a period of five years from the date of the planting of any tree or shrub, or any tree or shrub planted in replacement, that tree or shrub is removed or up-rooted or destroyed or dies, another tree or shrub of the same species and size as that originally planted shall be planted as a replacement.</p>		
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22 19	<p>Prior to the commencement of development within each reserved matters area, existing Public Rights of Way affected by the development of that application shall be protected and /or diverted in accordance with statutory procedures and with any scheme(s) previously submitted as reserved matters or through discharge of an appropriate condition. The plans and particulars submitted shall include details to:</p> <ul style="list-style-type: none"> • Divert and/or reinstate public footpaths and other rights of way • Create new connections with surrounding footpaths • Link to the existing footpath network including that to the Great Fen <p>Public Rights of Way which are temporarily diverted during the construction phase shall be returned to their original state or such state as shall be approved in writing in advance by the Local Planning Authority and made available for public use once the works which immediately affect them have been completed.</p>	-	No change required
23 20	<p>Prestley Wood management plan Development shall not commence/begin on the land currently known as Grange Farm until a Management Plan for the Prestley Wood Scheduled Monument and woodland has been prepared and approved by the Local Planning Authority. Works to the scheduled monument will be carried out in accordance with that Plan.</p>	-	No change required
24	<p>Ecological mitigation for the Stukeley Railway Cutting SSSI</p> <p>Before access 'Option A' is implemented as shown on the Parameter Plan (ref UAC002-220 T) a detailed scheme to compensate for the loss of habitat within the existing SSSI including a programme for delivery of the scheme shall be submitted in accordance with the requirements of the Site Wide Ecological Mitigation and Management Strategy and approved in writing by the Local Planning Authority. The works shall thereafter be completed in accordance with the</p>	<p>Ecological mitigation for the Stukeley Railway Cutting SSSI</p> <p>Before access 'Option A' is implemented as shown on the Parameter Plan (ref UAC002-220 T) a detailed scheme to compensate for the loss of habitat within the existing SSSI including a programme for delivery of the scheme shall be submitted in accordance with the requirements of the Site Wide Ecological Mitigation and Management Strategy and approved in writing by the Local Planning Authority. The works shall thereafter be completed in accordance with the</p>	<p>DELETE - Option A is not being pursued by U&C and reserved matters have already been for the delivery of Option B</p>

	approved details to the satisfaction of the Local Planning Authority.	approved details to the satisfaction of the Local Planning Authority.	
25 21	<p>Proposals for energy centres Where an energy centre is proposed plans and particulars shall be submitted with the relevant reserved matters application and approved in writing by the Local Planning Authority to include but not be limited to:</p> <p>Noise assessment to demonstrate that the emissions from the energy centres shall not exceed the maximum permitted noise night rating level 1 m from the facade of dwellings of 33db, and Air quality assessment providing a detailed air quality assessment would be required if the maximum pollutant significant emissions (tonnes/year) was triggered as identified in Table 7 of the Energy Strategy of the Environmental Statement 2012: (Technology and feedstock providing details of the proposed technology and feedstock, including storage arrangements and anticipated associated traffic movements for any imported feedstock materials. The energy centre shall be constructed in accordance with the approved plans and particulars.</p>	-	No change required
26 22	<p>Heritage Area Action Plan When an application for reserved matters is submitted which proposes development within 150 m of the Heritage Area, identified on the Parameter Plan (ref: UAC002-220 T), a Heritage Area Action Plan shall be submitted as part of that reserved matters application. The Heritage Area Action Plan shall include measures for the future use and management of the Heritage Area and a delivery strategy and shall be submitted to and approved in writing by the Local Planning Authority. Development shall take place in accordance with the approved Heritage Area Action Plan.</p>	<p>Heritage Area Action Plan When an application for reserved matters is first submitted which proposes development within 150 m of the Heritage Area, identified on the Parameter Plan (ref: UAC060-001 - Rev F), a Heritage Area Action Plan shall be submitted as part of that reserved matters application. The Heritage Area Action Plan shall include measures for the future use and management of the Heritage Area and a delivery strategy which may include phasing and shall be submitted to and approved in writing by the Local Planning Authority. Development shall take place in accordance with the approved Heritage Area Action Plan.</p>	Minor text change to reflect parameter plan update and to address principle of phasing the delivery of the Action Plan
27 23	<p>Prior to the demolition of buildings identified in the Heritage Assessment as containing wall art, reasonable efforts must be made to retain and, where appropriate, to re-use that wall art, or should this not be possible, to ensure the appropriate recording of that wall art and its display/archive.</p>	-	No change required

28	<p>Building recording and surveys Prior to the demolition of the following buildings: building numbers 68, 90, 106, 107, 108, 200, 201, 205, 209, the 4100 series and 4000-4002, each shall be subject to additional recording to Level 3 (as identified in "Understanding Historic Buildings: a guide for good recording practice" 2006 Vols 1 - 3 published by English Heritage) or Level 2 where the building is a duplicate of another. Buildings 199, 200 & 201 should also be subject to a structural survey in accordance with a written methodology to be agreed in writing by the Local Planning Authority.</p>	<p>Building recording and surveys Prior to the demolition of the following buildings: building numbers 68, 90, 106, 107, 108, 200, 201, 205, 209, the 4100 series and 4000-4002, each shall be subject to additional recording to Level 3 (as identified in "Understanding Historic Buildings: a guide for good recording practice" 2006 Vols 1 - 3 published by English Heritage) or Level 2 where the building is a duplicate of another. Buildings 199, 200 & 201 should also be subject to a structural survey in accordance with a written methodology to be agreed in writing by the Local Planning Authority.</p>	<p>DELETE CONDITION - This condition has now been fully discharged</p>
29 24	<p>Allotments Any reserved matters applications that incorporate allotment provision shall include - a layout plan, access, turning and parking arrangements, location and form of community buildings, boundary treatment and water supply. Details shall include the quantity and quality of the topsoil to be brought onto the site and management guidelines submitted for the operation of the allotments by the allotment holders. Development and operation of the allotment shall take place in accordance with the approved details.</p>	-	No change required
30 25	<p>Within each Key Phase, unless otherwise agreed in writing by the Local Planning Authority, no development shall take place in areas identified as at risk of contamination in the Phase 1 Contaminated Land Desk Study, July 2012 (Appendix 17.1 of the Environmental Statement submitted with the outline planning application) until an assessment of the nature and extent of contamination for that area or identified cell of contamination has been submitted to and approved in writing by the Local Planning Authority. This assessment must be undertaken by a competent person, and shall assess any contamination on the site, whether or not it originates on the site. Moreover, it must include: List not included for Brevity</p>	-	No change required

<p>31 26</p>	<p>Network Rail land Drainage All surface and foul water arising from the development shall be collected and diverted away from Network Rail property unless an alternative scheme that does not affect safety, operational needs or integrity of the railway has been agreed in writing with the Local Planning Authority. All soakaways shall be located so as to discharge away from the railway infrastructure. The following elements shall be addressed, as necessary, in accordance with the site wide Water Management Strategy: List not included for Brevity</p>	<p>-</p>	<p>No change required</p>
<p>32 27</p>	<p>Prior to commencement of development plans and particulars for each reserved matters application shall include, where relevant, an Adoption Strategy to be submitted to and approved in writing by the Local Planning Authority. The Adoption Strategy shall set out:</p> <ul style="list-style-type: none"> • The elements of the transport network within the Reserved Matters Area which will be offered for adoption by the Local Highway Authority • The elements of the transport network within the Reserved Matters Area which will be retained in private ownership, and the management arrangements for these elements of the network • The elements of the recreational path network that will be offered for adoption as Public Rights of Way • The elements of the recreational path network which will be retained in private ownership, and the management arrangements for these elements of the network 	<p>-</p>	<p>No change required</p>

	The approved Adoption Strategy for a Reserved Matters Area shall thereafter be implemented.		
33 28	Any development directly on the boundary of a primary school site shall be limited to not more than three storeys in height unless otherwise agreed in writing by the Local Planning Authority.	-	No change required
34 29	Clay Lane access Prior to the opening of Clay Lane, a scheme for controlled access to the site to include emergency vehicles, public transport, pedestrians and cyclists only shall be submitted to and approved in writing by the Local Planning Authority. Implementation shall thereafter be in accordance with the approved details.	-	No change required
35 43 30- 38	Notes to the application Not included for brevity	May need document reference changes & updates to reflect changes to matters material to this decision notice. All condition numbers updated to reflect deletions in the earlier conditions.	Minor text change references to reflect updated s73 application package and passage of time may be required to the informatives.

From: Parish Clerk - Stukeleys Parish <clerk@thestukeleys-pc.gov.uk>
Sent: 09 February 2022 08:43
To: DMAdmin
Subject: FW: Planning comments from Stukeley PC

Good morning

Please see below comments from Stukeley PC regarding planning applications.

Many Thanks

Mrs Emily Pacey
Clerk to The Stukeleys Parish Council
12 Swan Close
Whittlesey
Peterborough
PE7 1YW
07525029561
clerk@thestukeleys-pc.gov.uk
<https://www.thestukeleys-pc.gov.uk/>

Please note I work part time and so there may be a delay in my responding to both email and telephone calls.

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From: Tim <tim@3dplanning.org>
Sent: 08 February 2022 08:45
To: Ramune Mimiene <clerk@thestukeleys-pc.gov.uk>
Cc: tim.close@thestukeleys-pc.gov.uk; Terry Pinner <tpinner158@gmail.com>
Subject: SPC meeting 7th Jan

Morning Emily

Good to meet you last night. Please find below what I understand to be the responses from SPC to the 3 applications discussed.

19/01320/S73 | Variation of conditions 1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 18, 20, 24, 26 and 28 for application 1201158OUT - Amended wording (see covering letter, appendix 1) and Key Phase Submission - KP2 - The Country Park (Hybrid Element) | Alconbury Weald Ermine Street Little Stukeley

SPC reiterates its holding objection (initially made on the 3.12.19) and believes that this application remains premature until the alignment of the A141 is finally fixed and the country park can be properly designed in conjunction with any housing that may be ultimately be acceptable on Grange Farm.

21/01548/REM | Reserved Matters planning application for the Siting, Design, External Appearance, Landscaping and Access (secondary) relating to residential parcels 9 & 10 (South) of Key Phase 1 at the former RAF Alconbury Air Base, consisting of 206 no. 2,3,4 and 5 bedroom 2,2.5,3 and 4 story apartments, mews, semi-detached and detached dwellings, incorporating 26 no. 2, 3 and 4 bedroom affordable dwellings & 3no. pocket parks of at least 100m2.

SPC support the alterations made to the application in respect to design.

21/02720/REM | Application for the approval of access, appearance, landscaping, layout and scale for green and grey infrastructure forming the Education Campus Approach and all associated works pursuant to outline planning permission 12011580UT | Alconbury Airfield Ermine Street Little Stukeley PE28 4WX.

SPC supports the application.

Tim Slater
BA (Hons) DMS MRTPI
3D Planning Ltd.
07764 818154
www.3dplanning.org

3D Planning - Town Planning Consultancy



From: Sylvester, Gavin (Planning)
Sent: 04 December 2019 10:51
To: Control, Development (Planning)
Subject: FW: The Stukeleys PC Planning Recommendations to 3 planning consultations

Sheila,

The Stukeleys PC has submitted the following objections. For clarity, I have split them into the 3 applications:

19/01341/OUT:

Planning Application for 1,500 at Alconbury Weald (Grange Farm): Outline planning permission (all matters reserved) for a mixed-use development to include- means of access, residential development of up to 1,500 dwellings (C2 & C3), local centre including retail and community facilities (A1-A5 & D1), primary school, open space, play areas, recreation facilities, landscaping, associated demolition, ground works and infrastructure. Site Address: Alconbury Weald Ermine Street Little Stukeley Reference: 19/01341/OUT

The Stukeleys PC planning recommendations are:

SPC wish to lodge a holding objection to the outline application as currently submitted and wishes to engage with both HDC planning and UC to explore an amended submission which would protect the separation of AW from Huntingdon and enable a meaningful country park to be provided to maintain this separation in perpetuity. That UC be requested to fully consider other options for delivering additional housing – noting that it is up to 1500 and does not necessarily mean 1500 exactly.

In principle SPC is accepting of development on land south of Grange Farm with an equivalent area to the 27Ha of land formerly identified for the Education Campus - however the extent and format of this is reliant on clarification of the line of the realigned A141.

19/01320/S73:

Variation of conditions 1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 18, 20, 24, 26 and 28 for application 1201158OUT - Amended wording (see covering letter, appendix 1) and Key Phase Submission - KP2 - The Country Park (Hybrid Element). Site Address: Alconbury Weald Ermine Street Little Stukeley Reference: 19/01320/S73

The Stukeleys PC planning recommendations are:

SPC wish to lodge a Holding Objection pending resolution on 19/01341/OUT and the alignment of the A141 as the parameters of the country park are a function of the site area and its interaction with surrounding development.

19/80094/COND:

Conditional Information for 1201158OUT: Condition 9: Amended Key Phase 1 definition. Condition 10: Amended Key Phase Framework a) Design Code b) Indicative Sequencing Plan c) Archaeological Investigation d) School Site Plan e) Key Phase Transport Assessment f) Key Phase Travel Plan & Mitigation Strategy g) Delivery Plan h) Site Wide Strategy Supplements (Water, Ecology & Code of Construction Practice) and i) Sustainability Statement. Site address: Alconbury Airfield Ermine Street Little Stukeley PE28 4WX

The Stukeleys PC planning recommendations are:

SPC wish to lodge a Holding Objection pending resolution on 19/01341/OUT and the alignment of the A141.

Regards

Gavin Sylvester
Senior Development Management Officer
Huntingdonshire District Council
DD: 01480 387070

Any comments represent the informal opinion of an officer of Huntingdonshire District Council. These comments are made without prejudice to any eventual determination through the planning process.

From: Clerk - TSPCN6 <clerk@thestukeleys-pc.gov.uk>

Sent: 03 December 2019 16:58

To: DMAdmin <Development.ManagementAdmin@huntingdonshire.gov.uk>; Sylvester, Gavin (Planning) <Gavin.Sylvester@huntingdonshire.gov.uk>

Subject: The Stukeleys PC Planning Recommendations to 3 planning consultations

Dear Gavin,

Please find The Stukeleys Parish Council's planning recommendations to the 3 planning consultations listed below:

Planning Application for 1,500 at Alconbury Weald (Grange Farm): Outline planning permission (all matters reserved) for a mixed-use development to include- means of access, residential development of up to 1,500 dwellings (C2 & C3), local centre including retail and community facilities (A1-A5 & D1), primary school, open space, play areas, recreation facilities, landscaping, associated demolition, ground works and infrastructure. Site Address: Alconbury Weald Ermine Street Little Stukeley Reference: 19/01341/OUT

The Stukeleys PC planning recommendations are:

SPC wish to lodge a holding objection to the outline application as currently submitted and wishes to engage with both HDC planning and UC to explore an amended submission which would protect the separation of AW from Huntingdon and enable a meaningful country park to be provided to maintain this separation in perpetuity. That UC be requested to fully consider other options for delivering additional housing – noting that it is up to 1500 and does not necessarily mean 1500 exactly.

In principle SPC is accepting of development on land south of Grange Farm with an equivalent area to the 27Ha of land formerly identified for the Education Campus - however the extent and format of this is reliant on clarification of the line of the realigned A141.

Variation of conditions 1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 18, 20, 24, 26 and 28 for application 1201158OUT - Amended wording (see covering letter, appendix 1) and Key Phase Submission - KP2 - The Country Park (Hybrid Element). Site Address: Alconbury Weald Ermine Street Little Stukeley Reference: 19/01320/S73

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Conditional Information for 1201158OUT: Condition 9: Amended Key Phase 1 definition. Condition 10: Amended Key Phase Framework a) Design Code b) Indicative Sequencing Plan c) Archaeological Investigation d) School Site Plan e) Key Phase Transport Assessment f) Key Phase Travel Plan & Mitigation Strategy g) Delivery Plan h) Site Wide Strategy Supplements (Water, Ecology & Code of Construction Practice) and i) Sustainability Statement. Site address: Alconbury Airfield Ermine Street Little Stukeley PE28 4WX

The Stukeleys PC planning recommendations are:

SPC wish to lodge a Holding Objection pending resolution on 19/01341/OUT and the alignment of the A141.

Sincerely

Ramune

Ms Ramune Mimiene

Clerk to The Stukeleys Parish Council

14 Low Road

Little Stukeley

Huntingdon

Cambs PE28 4BA

01480 535265

clerk@thestukeleys-pc.gov.uk

<https://www.thestukeleys-pc.gov.uk/>

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Development Management Committee



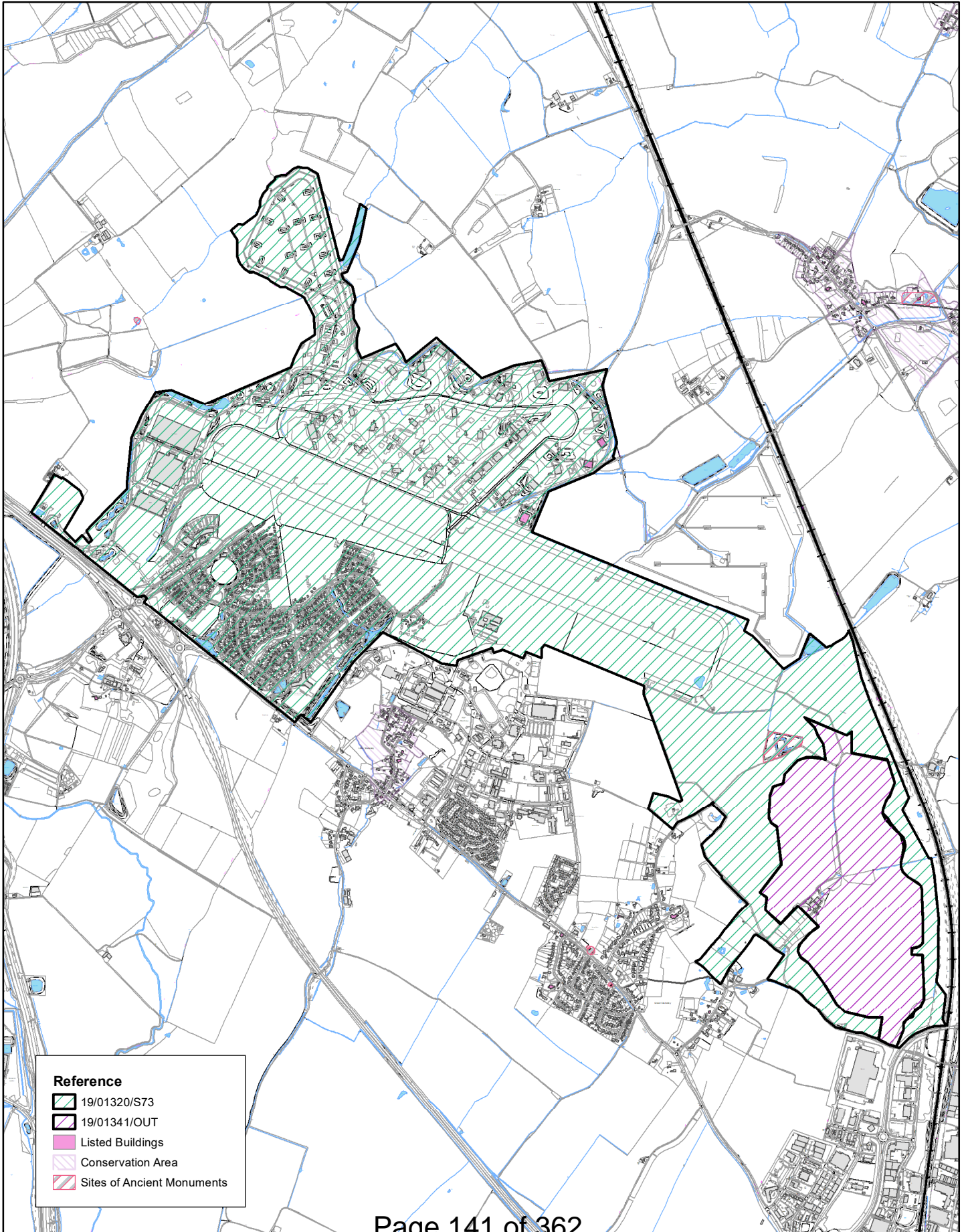
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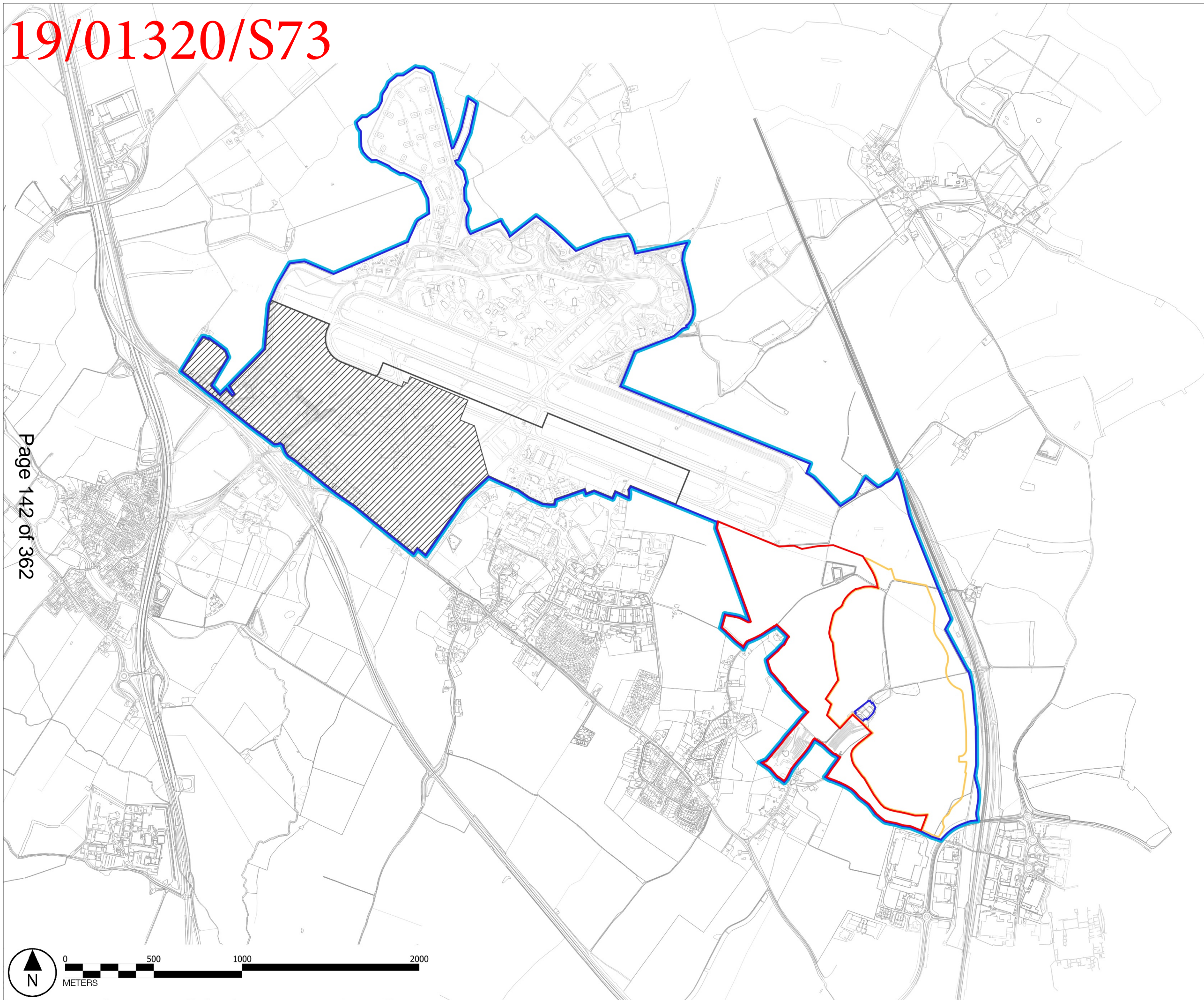
Application Ref: 19/01320/S73 and 19/01341/OUT

Location: Alconbury Weald

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Reference	
	19/01320/S73
	19/01341/OUT
	Listed Buildings
	Conservation Area
	Sites of Ancient Monuments

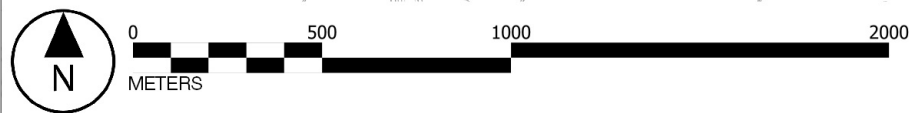


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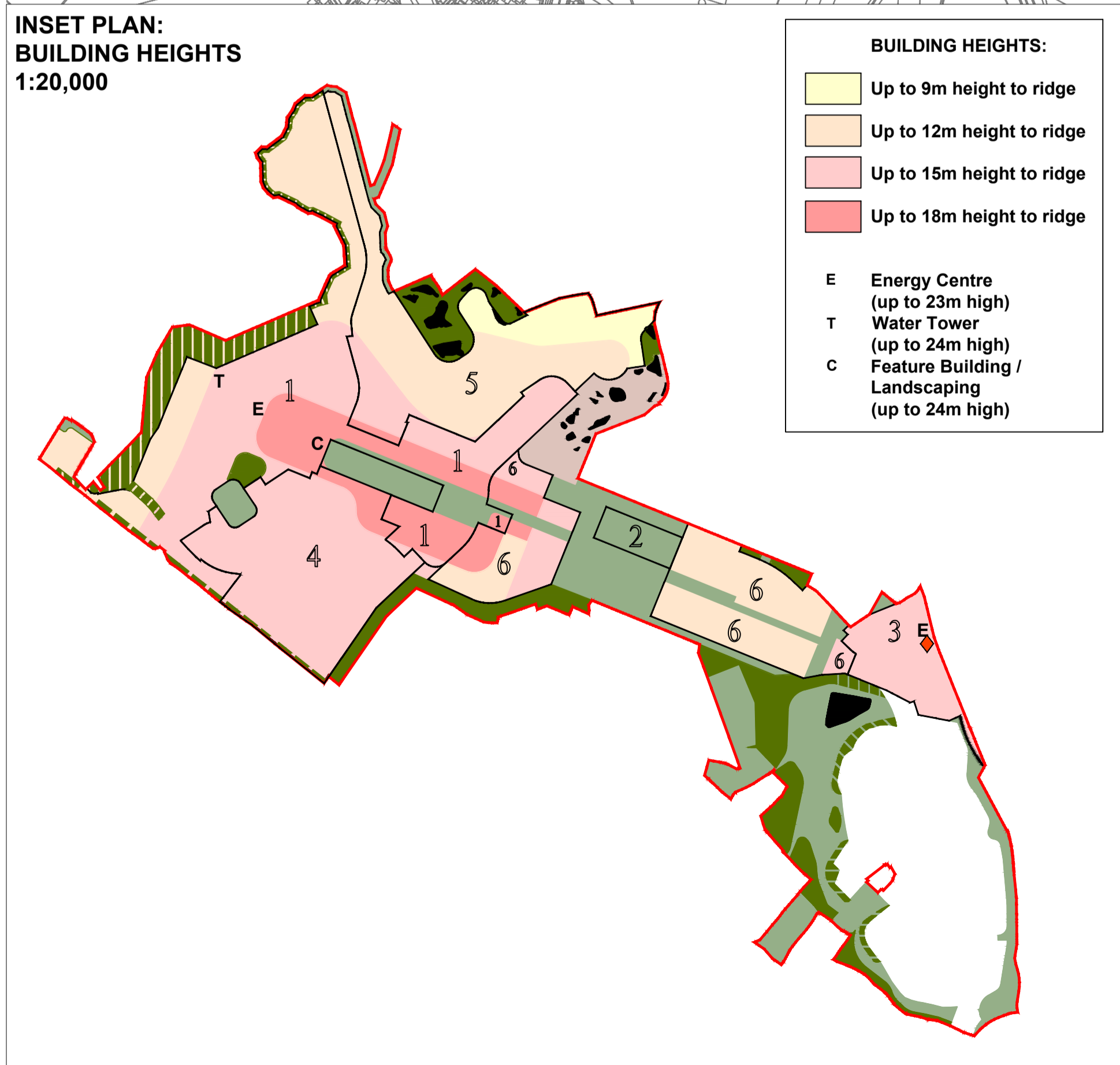
- NOTES
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 2. DO NOT SCALE FROM THIS DRAWING
 3. ANY DISCREPANCIES WITHIN THIS DRAWING OR BETWEEN THIS DRAWING AND ANY OTHER INFORMATION IS TO BE REPORTED TO BMD FOR CLARIFICATION
 4. THE WIDER ALCONBURY WEALD SITE, NOT INCLUDING THE DEVELOPED PART OF KEY PHASE 1 (KP1), WAS ASSESSED IN 2017/2018 AND REVIEWED IN 2019. THIS DRAWING IS FOCUSED ON GRANGE FARM COUNTRY PARK

- Site boundary
- Land ownership boundary
- Section 73
- Grange farm residential
- Key phase 1
- KP1 (developed)

Rev	Description	Date	
Purpose of Issue			
PLANNING			
Bradley Murphy Design Ltd 6 The Courtyard Hatton Technology Park Dark Lane Hatton Warwickshire CV35 8XB			
t: 01926 676496 e: info@bradleymurphydesign.co.uk www.bradleymurphydesign.co.uk			
Client			
URBAN AND CIVIC			
Project			
ALCONBURY WEALD - COUNTRY PARK			
Drawing Title			
SITE LOCATION			
Drawn	Checked	Approved	Date: Survey
JJH	HSM	JP	NA
Job No.	Scale	Sheet Size	Revision
18.027	1:20000	A3	-
Drawing Number		Date: Drawing	
BMD.18.027.DRE.920		28/05/2019	



- Planning Application Boundary
 - Other Land under the applicant's control
- LAND USES**
- Enterprise Zone Development Areas 1, 2 & 3
 - Development Areas outside the Enterprise Zone Development Areas 4, 5, & 6
 - Heritage Area
 - Further Education & Sports Campus Development Area 7
 - Open Space
 - Existing Woodland
 - Proposed Woodland
 - Permeable Woodland
- ACCESS**
- Land safe-guarded for future re-alignment of A141
 - General Access Point
 - Clay Lane potential bus, cycle & pedestrian access
 - Footpath / cycleway / bridleway connection
 - Primary Route including Busway
 - Landscaping and access works to be delivered pursuant to the OPP / s73 OPP, the GF OPP or other detailed permission
- FACILITIES**
- Primary School & Local Facilities
 - Secondary School
 - The Hub
 - Interchange Facilities
 - Land reserved for possible future railway station
 - Land reserved for Sports Hub
- STATUTORY DESIGNATIONS**
- Listed Building
 - Scheduled Monument
 - SSSI



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Client: **Urban&Civic**

Alconbury Weald
S73 Parameter Plan

Scale: A1 : Drawn: ADW : Designed: --- : Approved: WR
 1:1,000

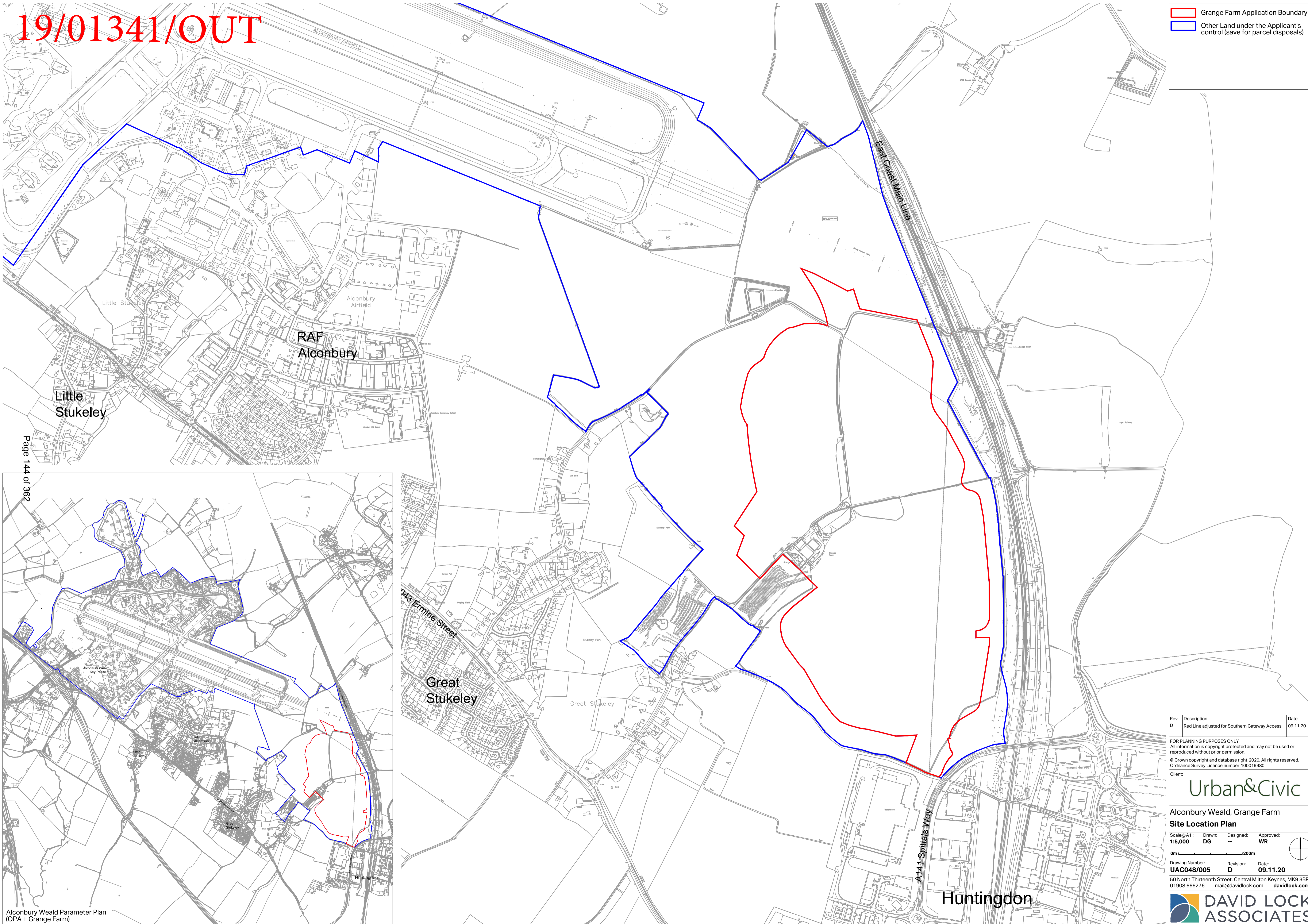
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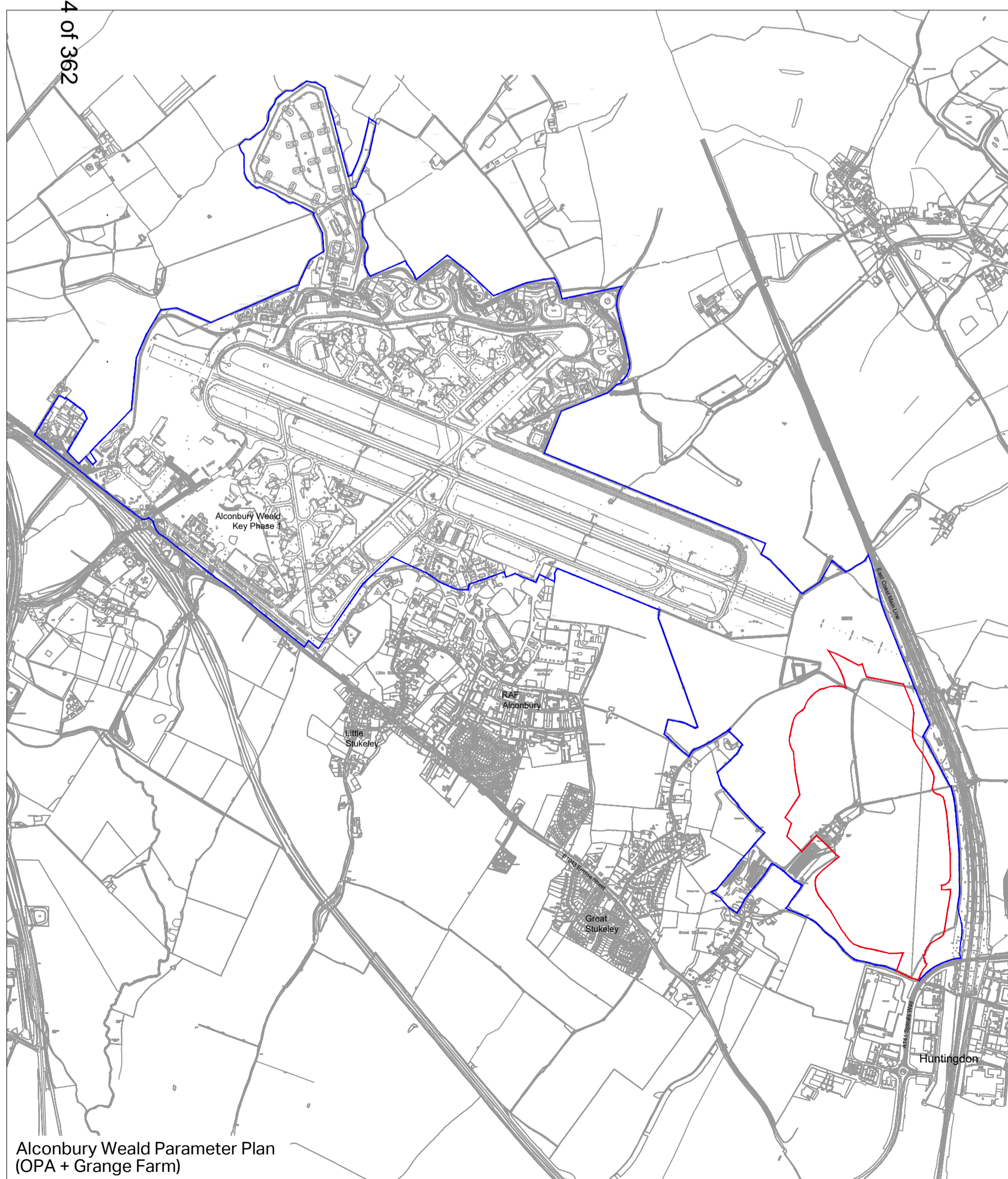
50 North Thirteenth Street, Central Milton Keynes, MK9 3BP
 01908 666276 mail@davidlock.com davidlock.com

DAVID LOCK ASSOCIATES

Grange Farm Application Boundary
 Other Land under the Applicant's control (save for parcel disposals)



Page 144 of 362



Rev	Description	Date
D	Red Line adjusted for Southern Gateway Access	09.11.20

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 Client:

Urban&Civic

Alconbury Weald, Grange Farm
Site Location Plan

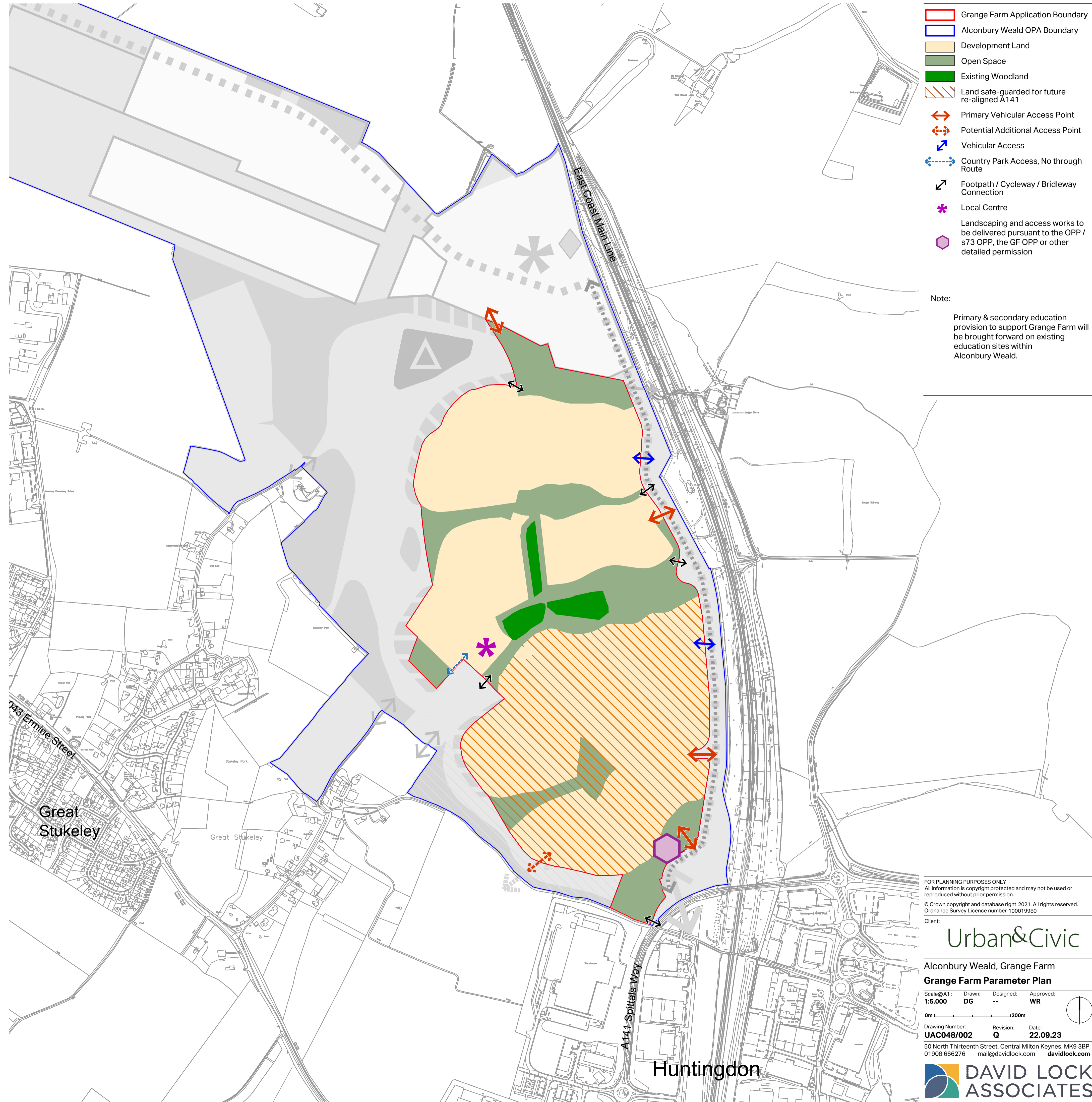
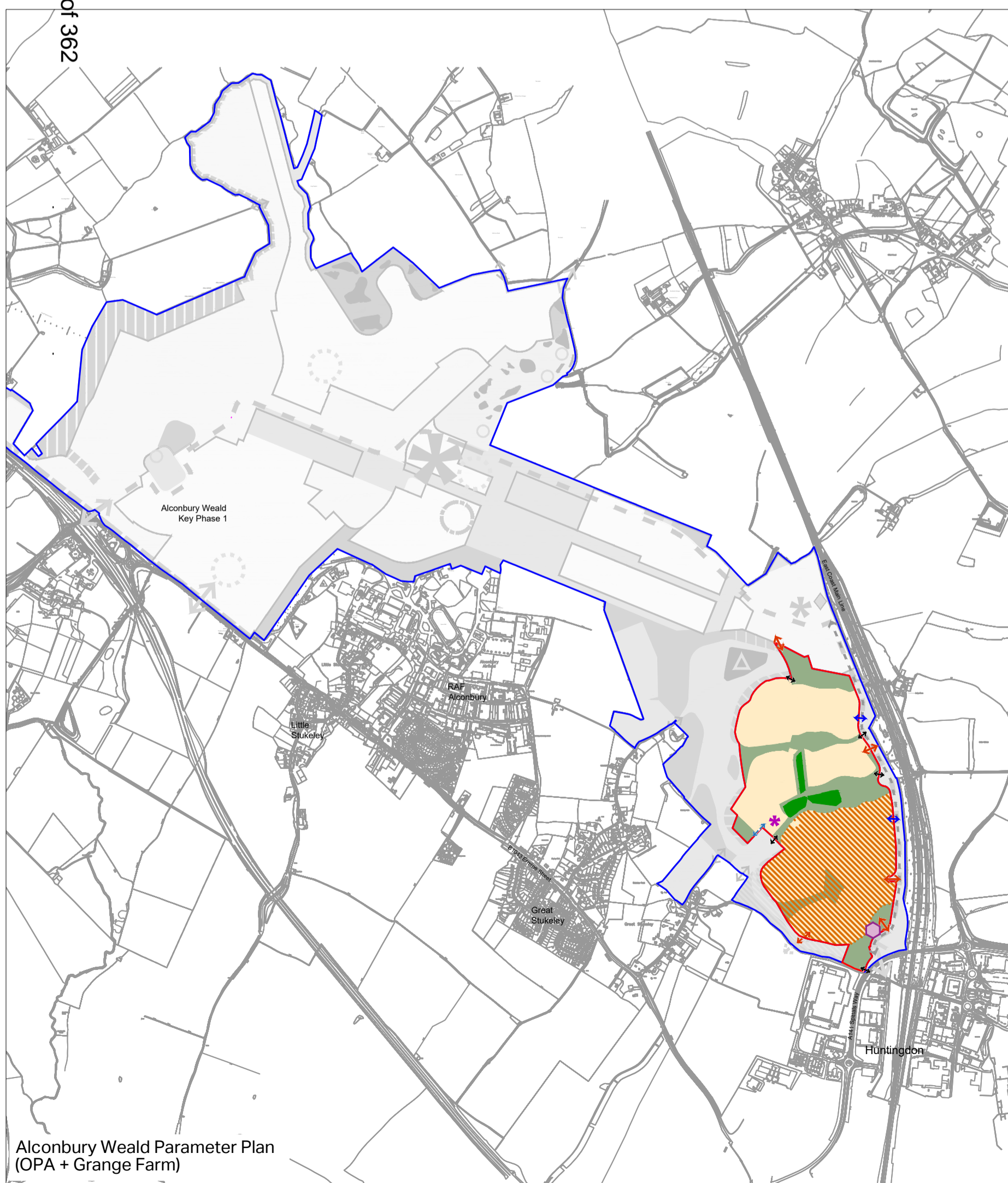
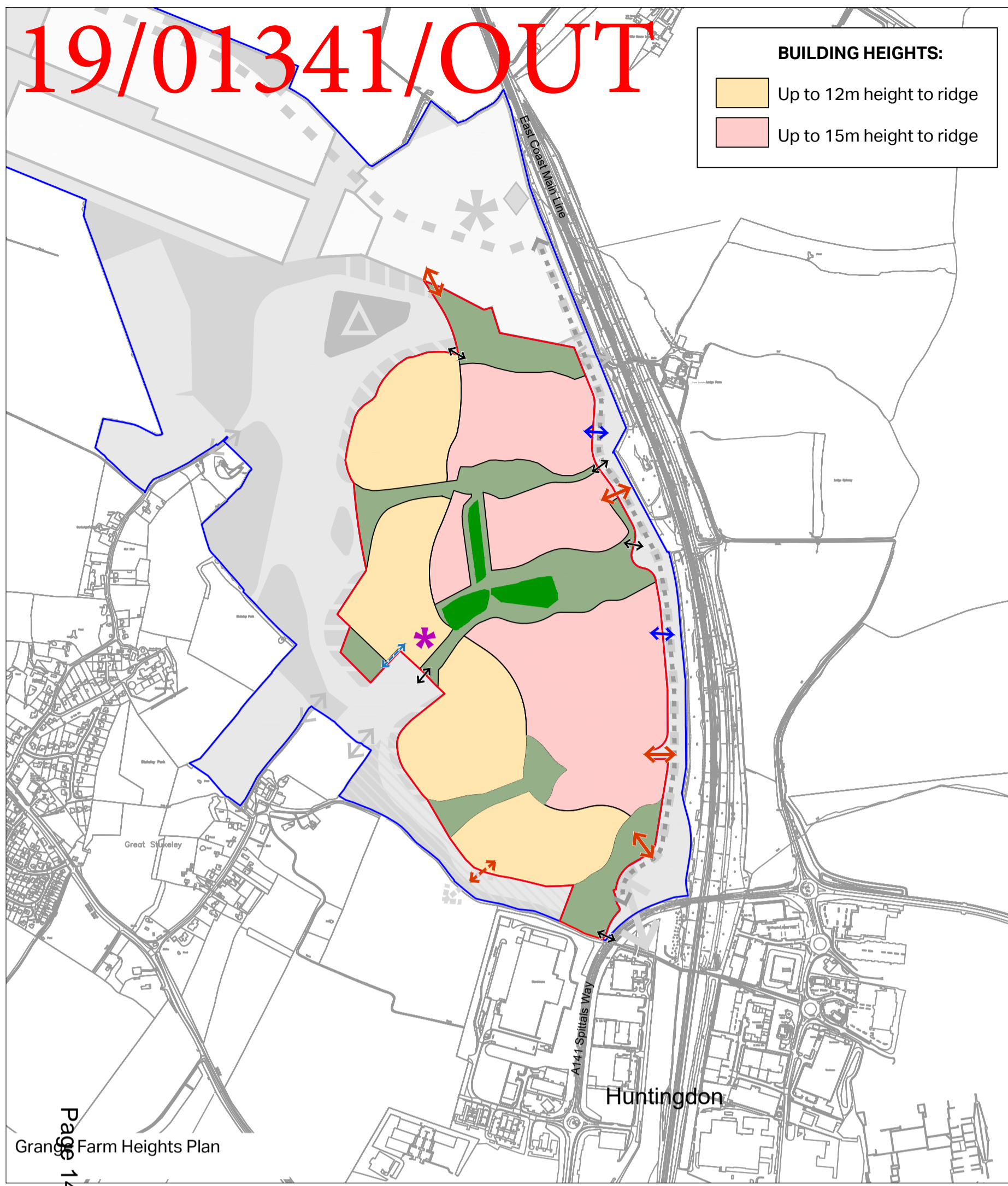
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1:5,000	DG	--	WR

Drawing Number:	Revision:	Date:
UAC048/005	D	09.11.20

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 01908 666276 mail@davidlock.com davidlock.com



BUILDING HEIGHTS:
 Up to 12m height to ridge
 Up to 15m height to ridge



- Grange Farm Application Boundary
- Alconbury Weald OPA Boundary
- Development Land
- Open Space
- Existing Woodland
- Land safe-guarded for future re-aligned A141
- ↔ Primary Vehicular Access Point
- ⊕ Potential Additional Access Point
- ↔ Vehicular Access
- ↔ Country Park Access, No through Route
- ↗ Footpath / Cycleway / Bridleway Connection
- ✱ Local Centre
- Landscaping and access works to be delivered pursuant to the OPP / s73 OPP, the GF OPP or other detailed permission

Note:
 Primary & secondary education provision to support Grange Farm will be brought forward on existing education sites within Alconbury Weald.

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Client: **Urban&Civic**

Alconbury Weald, Grange Farm
Grange Farm Parameter Plan

Scale@A1:	Drawn:	Designed:	Approved:
1:5,000	DG	--	WR

0m 200m

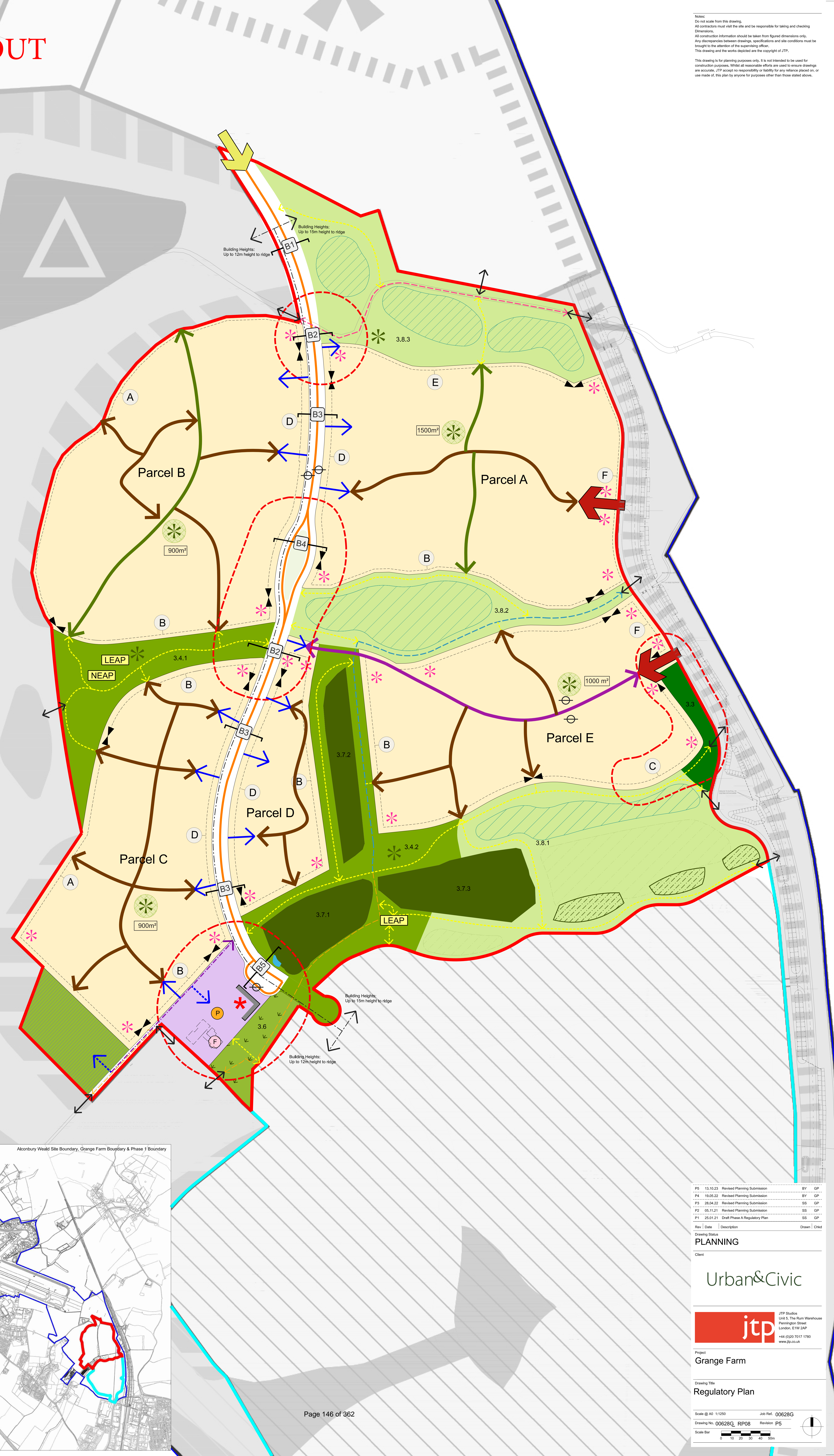
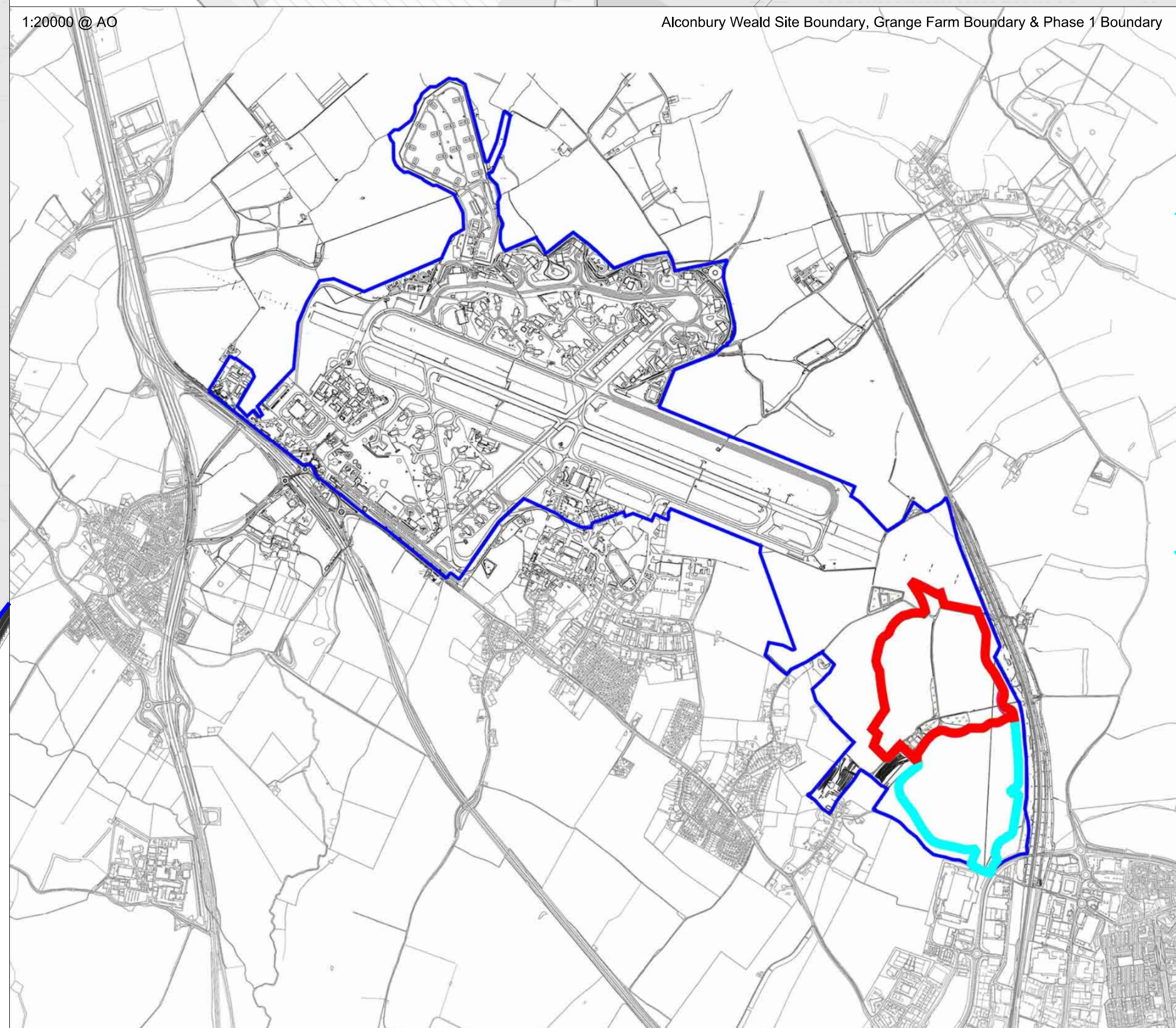
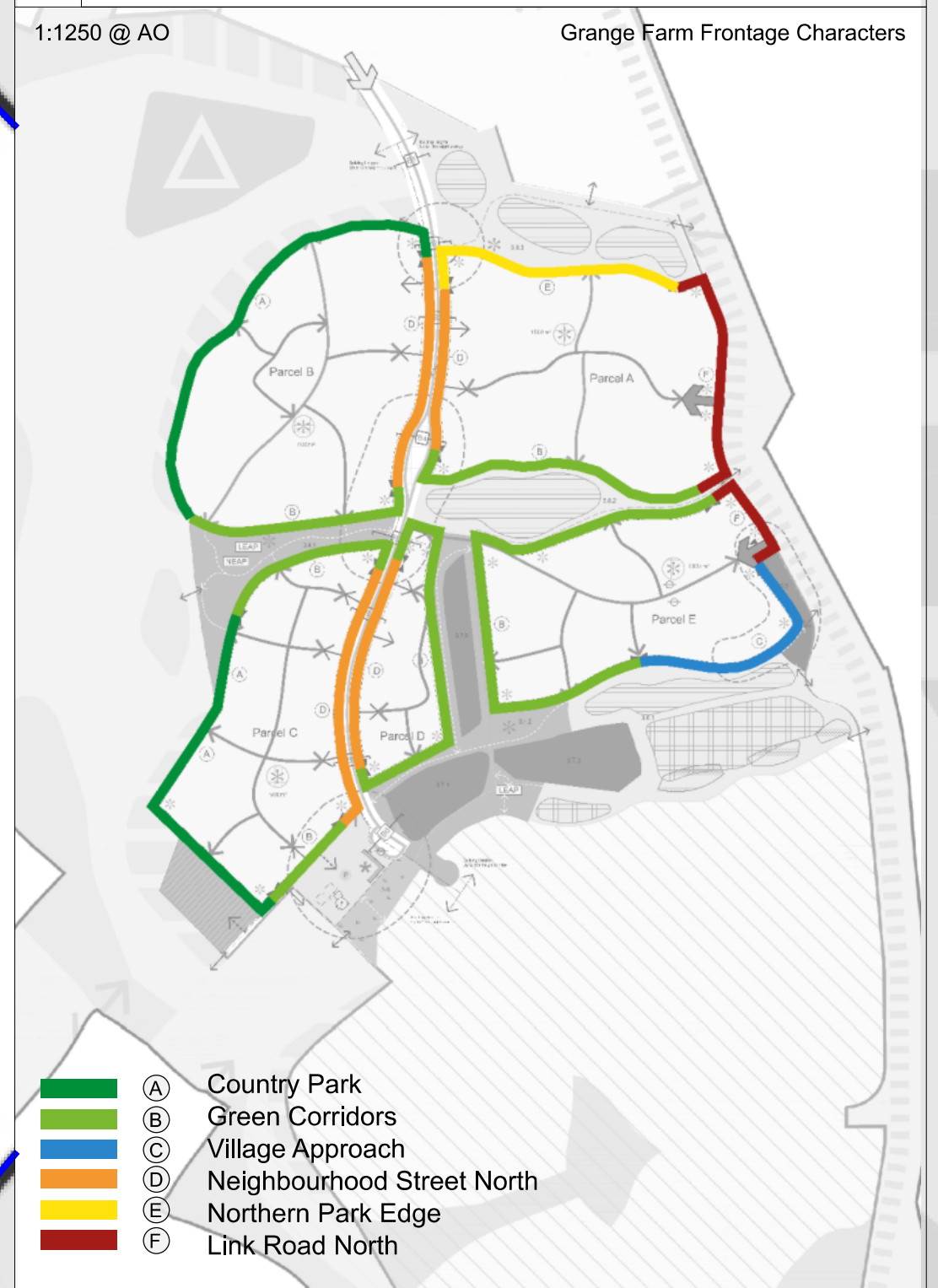
Drawing Number:	Revision:	Date:
UAC048/002	Q	22.09.23

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DAVID LOCK ASSOCIATES

Notes:
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KEY	
2. Context	
Boundaries	
	2.1 Alconbury Weald Outline Planning Application Boundary
	2.2 Grange Farm Outline Planning Application Boundary
	2.3 Phase A Boundary
	Building Heights: note parameters listed on plan
Land Use	
	3. Residential (C2/C3)
	Local Centre including retail and community facilities (A1-A5, D1)
3. Green Infrastructure	
	Informal Green Space
	3.3 Village Approach
	3.4 Community Parks 3.4.1 Prestley Meadow Community Park 3.4.2 The Spinneys Community Park
	3.5 Pocket Parks
	3.6 Local Centre Setting
	3.7 The Spinneys 3.7.1 Lodge Spinney 3.7.2 Long Spinney 3.7.3 Farm Spinney
	3.8 Greenways 3.8.1 Spinney Greenway 3.8.2 Meadow Greenway 3.8.3 Prestley Greenway
	3.9 Grange Farm Allotments
	3.10 Community Gardens
	Proposed Woodland Blocks
4. Movement and Access	
4.3 Site Access Points Southern Link Road Access A/B Southern Link Road Access C	
4.4 Street Hierarchy 4.4.1 Street Type B - Secondary Street Street Type B variant sections (B1-B5) 4.4.2 Street Type C - Tertiary Neighbourhood Bus Route 4.4.3 Street Type D - Tertiary Street and Cross Parcel Permeability 4.4.4 Street Type E - Tertiary Green Street and Cross Parcel Permeability	
4.6 Active Travel Network New public bridleway Existing bridleway Revised bridleway Indicative Multi User Active Travel Route	
Indicative access locations for non-vehicular connections outside site boundary	
4.7 Bus Network Indicative bus stop Bus Turnabout	
4.8 Vehicular route to local centre and allotments	
4.9 Access to minor routes & parcels Access point: fixed location (for access to minor street, +/- 5m flexibility of location permitted) Access point: Indicative location	
5. Residential Built Form	
5.6 Residential Layout Design 5.6.2 Marker Buildings 5.6.3 Frontage Character Location Plan Country Park Green Corridors Village Approach Neighbourhood Street North Northern Park Edge Link Road North	
6. Community Uses Built Form	
6.2 Design Principles for Local Centre Potential retention of Grange Farm farmhouse Landmark Building Important active frontage to community buildings Indicative Car Park location	
8. Technical Details	
8.7 Water Management: Drainage approach & Suds Attenuation basin (dry) Wet pond Safeguarded attenuation basin for potential future phase	
8.8 Play provision strategy	
	NEAP
Utilities	
Refer to Design Code Technical Details Chapter 8 for further technical information including indicative locations for gas governors and electricity sub-stations.	



Rev	Date	Description	Drawn	Check
P5	13.10.23	Revised Planning Submission	BY	GP
P4	16.05.22	Revised Planning Submission	BY	GP
P3	26.04.22	Revised Planning Submission	SS	GP
P2	05.11.21	Revised Planning Submission	SS	GP
P1	25.01.21	Draft Phase A Regulatory Plan	SS	GP

Drawing Status
PLANNING

Client:
Urban&Civic

JTP Studios
 Unit 5, The Ram Warehouse
 Parsloes Street
 London, E1W 2AP
 +44 (0)20 7017 1780
 www.jtp.co.uk

Project
Grange Farm

Drawing Title
Regulatory Plan

Scale @ AO 1:1250 Job Ref. 00628G
 Drawing No. 00628G_RP08 Revision P5
 Scale Bar 0 10 20 30 40 50m

DEVELOPMENT MANAGEMENT COMMITTEE 22 APRIL 2024

Case No: 22/01594/OUT

Proposal: OUTLINE APPLICATION INCLUDING MATTERS OF ACCESS, APPEARANCE, LAYOUT AND SCALE (LANDSCAPING RESERVED FOR FUTURE CONSIDERATION) FOR 26 DWELLINGS

Location: LAND AT RIVERSFIELD, GREAT NORTH ROAD, LITTLE PAXTON

Applicant: BLOOR HOMES

Grid Ref: (E)518171 (N)261907

Date of Registration: 20.07.2022

Parish: St NEOTS

RECOMMENDATION -

Delegated powers to APPROVE subject to completion of a S106 agreement and conditions.

OR

REFUSE in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

The Parish Council recommendation is in line with the Officer recommendation of approval, however the application is referred to the Development Management Committee (DMC) because the application seeks contributions in excess of £100,000.

1. DESCRIPTION OF SITE AND APPLICATION

1.1 The application site is undeveloped land located within the village of Little Paxton. It covers an area of 0.99 hectares and is currently in use as a materials storage area / contractors facilities and parking associated with the adjacent development of 199 homes being built by Bloor Homes known as the 'Paxton Mill' development. There is an existing access road into the site from the B1041 Great North Road

which was constructed following the implementation of a 1980's planning permission for roads and sewers to serve a business park on the land.

- 1.2 The application land fronts the B1041 Great North Road and this boundary is defined by existing hedgerow either side of the access point. To the south and west of the site lies the Bloor Homes Paxton Mill development. The north-east boundary is defined by existing hedging and beyond this is a modern housing development; Samuel Jones Crescent.
- 1.3 The relevant planning history of the site is listed in section 4 below. Most recently, consent was granted in December 2018 under application reference 18/01492/OUT for development of up to 199 dwellings and 6,970 sq. metres (75,000 sq. ft) of class B1 business premises with open space, new accesses from The Great North Road, roads and associated infrastructure. Whilst the residential element has been approved under application reference 20/02425/REM and has been implemented, no reserved matters submission was made for the commercial element and this element of the outline consent has now lapsed. This application site comprises the area of land that was originally proposed for the commercial element of the 2018 proposals.
- 1.4 The site falls within Flood Zone 1. Table 1 of the Technical Guidance to the NPPF defines land located within Flood Zone 1 as areas which are outside the flood plain and have little or no chance of flooding. These are areas with an indicative probability of flooding of 1 in 1000 years or greater (i.e. less than 0.1% chance in any given year) from fluvial sources.
- 1.5 The application is seeking outline planning permission for 26 dwellings including matters of access, appearance, layout and scale, with landscaping reserved for future consideration. Following receipt of additional details during the lifetime of the application, only Landscaping of the proposed development forms the 'Reserved Matters' for future approval, with matters relating to access, appearance, layout and scale being determined now. The application

is accompanied by full details of the proposals other than detailed landscaping plans.

1.6 Amendments have been received during the lifetime of the application which have resulted in revised plans and documents together with a change to the description of the development. Re-consultation has been undertaken accordingly with all relevant consultees.

1.7 The application is supported by the following technical reports and documents:

- Planning Design & Access Statement
- Ecological Appraisal
- Biodiversity Net Gain Report
- Biodiversity Metric 4.0 Calculations
- Energy Strategy Statement
- Arboricultural Impact Assessment
- Addendum Tree Report
- Geotechnical and Environmental Report
- Environmental Noise Survey
- Flood Risk Assessment
- Surface Water Drainage Statement
- Transport Statement
- Travel Plan
- Archaeological Trial Trench Evaluation

1.8 With regard to the Town and Country Planning (Environmental Impact Assessment) Regulations 2017 the development does not meet the criteria to require a detailed screening opinion, as the application proposes less than 150 dwellings. It is therefore not anticipated that the project would have significant environmental effects and is therefore not considered to be EIA development.

2. NATIONAL GUIDANCE

2.1 The National Planning Policy Framework (NPPF 2023) sets out the three objectives – economic, social and environmental – of the planning system to contribute to the achievement of sustainable development.

The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'

2.2 The NPPF sets out the Government's planning policies for, amongst other things:

- delivering a sufficient supply of homes;
- achieving well-designed places;
- conserving and enhancing the natural environment;
- conserving and enhancing the historic environment.

2.3 The National Planning Practice Guidance (NPPG), the National Design Guide 2019 (NDG) and the Noise Policy Statement for England (NPSE) are also relevant and a material consideration.

2.4 For full details visit the government website [National Guidance](#)

2.5 Relevant Legislation:

- Planning and Compulsory Purchase Act 2004
- Town and Country Planning Act 1990 (as amended)
- Planning (Listed Buildings and Conservation Areas) Act 1990
- Ancient Monuments and Archaeological Areas Act 1979

3. PLANNING POLICIES

3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019):

- LP1 Amount of Development
- LP2 Strategy for Development
- LP3 Green Infrastructure
- LP4 Contributing to Infrastructure Delivery
- LP5 Flood risk
- LP6 Waste Water Management
- LP7 Spatial Planning Areas
- LP11 Design Context
- LP12 Design Implementation

- LP13 Placemaking
- LP14 Amenity
- LP15 Surface Water
- LP16 Sustainable Travel
- LP17 Parking Provision and Vehicle Movement
- LP24 Affordable Housing Provision
- LP25 Housing Mix
- LP30 Biodiversity and Geodiversity
- LP31 Trees, Woodland, Hedges and Hedgerows
- LP37 Ground Contamination and Groundwater Pollution

3.2 Supplementary Planning Documents (SPD):

- Huntingdonshire Landscape and Townscape Assessment – Adopted 2022
- Huntingdonshire Design Guide – Adopted 2017
- Cambridgeshire Flood and Water SPD – Adopted 2017
- RECAP Waste Management Design Guide (CCC SPD) – Adopted 2012
- Developer Contributions SPD– Adopted 2011 (costs updated annually)
- Annual Monitoring Report (AMR) 2023 Part 1 Housing Supply – October 2023
- Annual Monitoring Report (AMR) 2022/2023 Part 2 Policy Analysis – December 2023

Local For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

- 4.1 8301181FUL – Industrial development – Approved 20.10.1983
- 4.2 8301215FUL – Roads Footpaths and Sewers – Approved 20.10.1983
- 4.3 8801873OUT – Residential development (10.12ha) – Refused 23.02.1989
- 4.4 17/00108/OUT - Development of up to 199 dwellings and 6,970 sq. metres (75,000 sq. ft) of class B1 business premises with open space,

new accesses from The Great North Road, roads and associated infrastructure – Refused 22.11.2017

- 4.5 18/01492/OUT- Development of up to 199 dwellings and 6,970 sq. metres (75,000 sq. ft) of class B1 business premises with open space, new accesses from The Great North Road, roads and associated infrastructure – Approved 06.12.2018
- 4.6 20/02425/REM - Reserved matters (access, appearance, landscaping, layout and scale) for 199 dwellings with open space, a new access from The Great North Road, roads and associated works, pursuant to outline planning permission 18/01492/OUT – Approved 28.05.2021
- 4.7 Various condition submissions to address requirements for applications 18/01492/OUT and 20/02425/REM.
- 4.8 The adjacent housing on Samuel Jones Crescent (accessed off Mill Lane) was granted outline planning permission in 2005 for 426 residential units, plus public house and community hall under application reference 0302792FUL. There followed a series of amendments to this planning permission that led to other planning permissions such as 0703126S73 and 09/01203/S73 and the removal of the public house and community hall.

5. CONSULTATIONS

- 5.1 **Little Paxton Parish Council** (21/10/2022) - recommend REFUSAL noting that while the Parish Council has no objection to houses on this area of land, we feel we must repeat the comments made by HDC in the Planning Advice letter and say that we could not approve the plan as it stands at present (copy attached).
- 5.2 **Little Paxton Parish Council** (05/01/2024) - recommend REFUSAL noting that while the Parish Council has no objection to houses on this area of land and reiterates the advice in Planning Authority's letter to the developer dated 12 October 2021 and noting that should planning permission be given, then the development be properly considered as an enlargement of the existing housing estate and subject to CIL for 225 dwellings (copy attached).

- 5.3 **Little Paxton Parish Council** (12/03/2024) – SUPPORT, commenting that it was agreed that the planning application will have no detrimental impact on either the area or neighbouring properties (copy attached).
- 5.4 **St Neots Town Council (neighbouring 'parish')** (04.10.2022) – recommends APPROVAL noting that the proposals make efficient use of the site and is within a sustainable location (copy attached).
- 5.5 **St Neots Town Council (neighbouring 'parish')** (10.01.2024) – recommends APPROVAL noting that members only support the application if all the consultee comments are addressed and that members support Little Paxton Parish Council comments relating to the development be properly considered as an enlargement of the existing housing estate and subject to CIL for 225 dwellings (copy attached).
- 5.6 **St Neots Town Council (neighbouring 'parish')** (12.03.2024) – NOTED, commenting that Members would like all other statutory consultees to also be in support of the application and that members support the comments made by other statutory consultees to date (copy attached).
- 5.7 **Anglian Water** - NO OBJECTIONS confirming that in relation to the used water network, the sewerage system has capacity for flows, and requests informatives are added to any approval.
- 5.8 **HDC Planning Policy** – NO OBJECTION, noting that whilst it is disappointing that the employment element of permission 18/01492/OUT has expired (which would have supported a more sustainable form of development in this location), in policy terms this remaining element of the site is considered to form part of the built-up area and therefore potentially suitable for residential development under policy LP7.
- 5.9 **HDC Landscape** - NO OBJECTION, noting that landscaping is a reserved matter.
- 5.10 **Cambridgeshire Fire and Rescue** - NO OBJECTION, subject to securing provision for fire hydrants through a Section 106 or a planning condition.

- 5.11 **Cambridgeshire County Council Archaeology** - NO OBJECTION, noting that this site has previously been subject to an archaeological evaluation (Cambridgeshire Historic Environment record reference ECB3279) responding to the results of a geophysical survey (CHER ref ECB3307). In light of previous results, CCC Archaeology have confirmed there is no requirement for further works and have no objection to development proceeding in this location.
- 5.12 **Cambridgeshire County Council Education** – NO OBJECTION, subject to securing contributions towards new early years places in Little Paxton. Total education contributions therefore sought towards early years places: £413,434.
- 5.13 **Cambridgeshire County Council as Lead Local Flood Authority**- NO OBJECTION, subject to conditions securing the detailed design, implementation, maintenance and management of a surface water drainage scheme and how additional surface water run off from the site will be avoided during construction works.
- 5.14 **Cambridgeshire County Council as Local Highways Authority** - NO OBJECTION, subject to conditions securing the details of the proposed arrangements for future management and maintenance of the proposed streets, road and footpath construction details, binder course surfacing level prior to occupation, temporary facilities clear of the public highway during construction, visibility splays prior to occupation, wheel washing and traffic routes during construction.
- 5.15 **Cambridgeshire Constabulary** - NO OBJECTION from a crime reduction and / or community safety perspective but would wish to comment on lighting details and cycle storage in due course.
- 5.16 **HDC Ops (bins)** – NO OBJECTION, noting that the proposals for waste collections on this development are acceptable, subject to confirming bin collection points.
- 5.17 **HDC Environmental Health (noise)** - NO OBJECTION, subject to a noise mitigation scheme being secured by condition.

- 5.18 **HDC Environmental Health (contamination)** - NO OBJECTION and no need for any conditions in this respect.
- 5.19 **HDC Housing** - NO OBJECTION, subject to S106 to securing provision of the proposed 40% affordable housing (eight affordable rented units and 2 shared ownership units).
- 5.20 **HDC Arboricultural Officer** – NO OBJECTION, subject to conditions relating to tree protection measures and no dig surfacing.
- 5.21 **HDC Conservation** – NO OBJECTION, as there does not appear to be any designated heritage assets affected by the proposals.
- 5.221 **NHS England** – NO OBJECTION, subject to securing contributions towards funding the extension, reconfiguration and/or refurbishment of Buckden and Little Paxton surgeries. Total healthcare contributions therefore sought: £230,307.
- 5.23 **Wildlife Trust** - NO OBJECTIONS, noting that there are no significant ecological issues to address. The Wildlife Trust have confirmed that the proposals deliver a net biodiversity gain on the basis of the metric submitted.

6. REPRESENTATIONS

- 6.1 One neighbour comment has been received in relation to the proposals, objecting on the grounds of impact to residents at the Samuel Jones Estate (loss of views and privacy) and concerns relating to the capacity and amenities to support more development in this location.

A response to the above comments is considered later in this report with regard to material considerations (loss of views), amenity (privacy) and S106 obligations sought (capacity and amenities to support development).

7. ASSESSMENT

- 7.1 When determining planning applications it is necessary to establish what weight should be given to each plan's policies in order to come to a

decision. The following legislation, government policy and guidance outline how this should be done.

- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2023). The development plan is defined in Section 38(3)(b) and (c) of the 2004 Act as “the development plan documents (taken as a whole) that have been adopted or approved in that area, and the neighbourhood development plans which have been made in relation to that area”.
- 7.3 In Huntingdonshire the Development Plan consists of a number of adopted neighbourhood plans, however, there is not an adopted neighbourhood plan in place for Little Paxton. Therefore, whilst the adopted Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021) is considered relevant as part of the Development Plan alongside the Huntingdonshire’s Local Plan to 2036, in this case no neighbourhood plan is given weight in the determination of this application.
- 7.4 The statutory term ‘material considerations’ has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.5 The main issues to consider in assessing this application are whether there is any conflict with Development Plan policies. If there is any conflict, whether the application can be considered to be in accordance with the Development Plan when taken as a whole. If the application is not in accordance with the Development Plan, whether there are any

material considerations, including the NPPF (2023), which indicate that planning permission should be granted. With this in mind, the report addresses the principal, important and controversial issues which are in this case:

- Principle of Development
- Design and Layout
- Landscaping
- Impacts to Neighbouring Amenity
- Amenity of Future Occupants
- Trees and open space
- Housing Mix (including affordable housing)
- Water Efficiency
- Transport and Access
- Ecology and Biodiversity
- Drainage and Flood Risk
- Noise
- Contamination
- Heritage Impacts
- Section 106 Contributions and Community Infrastructure Levy (CIL)

Principle of Development

- 7.6 The part of Little Paxton which lies to the east of the A1 (and includes the application site) is defined as being within the St Neots Spatial Planning Area by policy LP7 of Huntingdonshire's Local Plan to 2036.
- 7.7 With regard to policy LP7 of the Local Plan, proposals for housing development will be supported where it is appropriately located within a built-up area of an identified Spatial Planning Area settlement.
- 7.8 Planning application reference 18/01492/OUT approved a development of up to 199 dwellings (currently being built out by Bloor Homes) alongside 6,970 sq. metres (75,000 sq. ft) of class B1 business premises at the wider site. The employment use previously consented was located on the approved outline plans as the current application site. However, no reserved matters application was submitted for the employment use land and this element of the previous outline approval has therefore now lapsed.

- 7.9 The application site is not allocated for development within Huntingdonshire's Local Plan to 2036, however the site is bordered to the north west by the Great North Road and to the north east, south and west by existing residential development. Given the adjacent development on three sides, this application site is now considered to be located within the built up area of this Spatial Planning Area.
- 7.10 Paragraph 4.89 of the Local Plan states that in addition to allocated sites, residential development of any scale may be acceptable where it can be successfully integrated within the built-up area of the existing settlement. It is noted that proposals should provide a mix of tenures, sizes and types to meet a wide range of housing needs.
- 7.11 Further development is encouraged within the built-up area where there are opportunities to maximise the potential for development in locations where people may be able to access shops, services and employment locally and so reduce the need to travel. The location of the site is around 1.1km from the Little Paxton doctors surgery and Little Paxton Primary School is around 720 metres north east of the site. The Little Paxton Hub (community centre) is around 210m away and the village hall is some 1.1km away to the north east. A Co-op food store is located around 870m to the north, with a Premier convenience shop around 600m away to the north east. The site is located 2.15km from St Neots railway station providing direct access to London Kings Cross and Peterborough. Regular buses (the nearest bus stop on Miller Lane is around 320m from the site) provide an hourly service (Monday to Saturday) into the centre of Huntingdon (then onto Godmanchester and Fenstanton) and St Neots. The site is therefore considered to be in a sustainable location.
- 7.12 The proposed residential development is therefore supported in principle in this location in accordance with Policy LP7 of Huntingdonshire's Local Plan to 2036 subject to the development being in accordance with other relevant policies.

Design and Layout

- 7.13 As noted, during the consideration of this application amendments have been made to the proposals, such that only landscaping is now a reserved matter and details relating to layout, access, scale and appearance will be determined as part of this application.
- 7.14 Paragraph 131 of the NPPF (2023) states that the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- 7.15 Paragraph 135 explains that decisions should ensure that developments function well and add to the overall quality of the area, are visually attractive as a result of good architecture, layout and appropriate and effective landscaping and are sympathetic to local character and history, including the surrounding built environment and landscape setting.
- 7.16 With regard to the layout of the proposals, the site layout plan has been revised a number of times during the course of the application to incorporate comments from HDC Urban Design. Following receipt of the latest plans and details officers consider the layout of the proposals to be acceptable and creates an appropriate built form.
- 7.17 In relation to access matters, vehicular access to the site is from the principal road approved under the 20/02425/REM application to the south, with a secondary emergency only access from Great North Road. The scheme extends the perimeter leisure route approved as part of the 20/02425/REM application across the northern edge of the site and connects to Samuel Jones Crescent in the northeast corner. Internally, the proposed layout identifies a mix of dwellings served off a loop road and short private drives.
- 7.18 The detailed layout of roads, footpaths and parking within the proposed development accord with the design and security guidance set out in the Huntingdonshire Design Guide SPD (2017). The detailed layout provides appropriate space for vehicle movements, facilitates

accessibility for service and emergency vehicles and incorporates adequate parking (including disability spaces) for vehicles and cycles. The layout of the proposed scheme relates well and assimilates to the wider Paxton Mill development.

- 7.19 The density of the proposals are very similar to those at the wider Paxton Mill development and is therefore considered to be acceptable, resulting in a prudent use of land and also reflective of existing neighbouring properties in terms of plot and dwelling sizes.
- 7.20 Units are arranged to back on to and secure the rear garden boundaries of Plots 141-155, and 157-162 to the south and west within the 20/02425/REM Phase 1 development and accord with the recommended 21m back-to-back separation distance set out in the HDC Design Guide 2017 SPD. Plots 20-23 are arranged to back on to or sit parallel with the eastern site boundary and sewer easement.
- 7.21 With regard to appearance and scale, on a detailed plot by plot basis, the proposed development incorporates a range house types which have a similar scale, massing and external appearance to those which have been approved (ref: 20/02425/REM) on the adjoining Bloor Homes Phase 1 site.
- 7.22 The proposed units are all two storey in height and have a traditional 'Arts and Crafts' appearance with pitched or hipped roofs, glazing bars to windows, flat roof porch canopies and corbelled brick verges. This design approach will ensure that the scheme responds positively to its context and assimilates with the adjoining housing site. The design of the dwellings are such that they appear as tenure blind, which is supported. Plots 1, 5, 12, 13, 16, 19, 20 and 26 are designed as dual aspect corner turning units in accordance with the HDC Design Guide SPD 2017 and feature ground and first floor windows from habitable rooms overlooking both street frontages and the linear area of open space that extends across northern site boundary. Plot 20 has been arranged to address the footpath connection and green open space within the adjacent Samuel Jones Crescent development to the east.

- 7.23 The submitted parking plan illustrates that the layout accommodates 2 parking spaces for the 2 and 3 bed units. A third parking space is proposed for the 4-bed units within the detached garages; these measure 3126mm x 6000mm internally and accord with the minimum garage standards set out within the HDC Design Guide SPD. Parking is located on plot to the side of the dwelling or as frontage parking which is broken up into rows of four parking space with landscape breaks, the details of which will be subject to a future Landscape Reserved Matters Application. Four visitor car parking spaces are also indicated on the layout plan.
- 7.24 The arrangement and quantum of car parking is appropriate and considered to relate well to the units and reflects the parking provision agreed for the 20/02425/REM Phase 1 development at the wider site. Further details of transport and access related matters are considered starting at paragraph 7.66 below.
- 7.25 The submitted details confirm that cycle parking would be accommodated in sheds within rear gardens of the 2, 3 and 4 bed units or within the single garages of the 3-bed units where these garages do not count towards the parking provision. The cycle shed details drawing confirms the dimensions of the sheds (2373mm x 1888mm / 8ft x 6ft) and are shown to accommodate 1 bicycle per bedroom, in accordance with Policy LP17 of Huntingdonshire's Local Plan to 2036.
- 7.26 The submitted materials plan confirms specific facing bricks and roof tiles in order to reflect and integrate the development with the adjacent 20/02425/REM Phase 1 development. These include Forterra Clumber Red, Ibstock Minster Beckstone and AAB Mersea Buff Handmade Stock facing bricks and Redland Richmond 10 smooth grey and Marley Duo Modern Smooth Grey and Old English Dark Red roof tiles. Other materials include white window frames, fascias and soffits, black garage doors and black, green and red front doors. The distribution of materials is considered to be acceptable and reflects the materials approved within the adjacent Phase 1 development.
- 7.27 Discussions have taken place with the Urban Design Officer during the course of the application in order to reduce the number of necessary

conditions and agree the approach to rainwater goods, doors, windows (including method of opening and reveal depth), the treatment of soffits and fascias, the construction of porch canopies and the location and colour of meter boxes and flues, vents and extracts. The detailed architectural drawings provided reflect those submitted and approved under condition 2 (materials) and 3 (external features) of the 20/02425/REM Phase 1 development and are considered acceptable.

- 7.28 The proposals would create a high quality development in keeping with the surrounding and adjacent development and is therefore considered to be acceptable in relation to layout, scale, appearance and access matters, in accordance with the NPPF and policies LP11 and LP12 of Huntingdonshire's Local Plan to 2036 and the HDC Urban Design Guide.

Landscaping

- 7.29 Landscaping is defined in the Town and Country Planning (Development Management Procedure) (England) Order 2015 as "the treatment of land (other than buildings) for the purpose of enhancing or protecting the amenities of the site and the area in which it is situated and includes: (a) screening by fences, walls or other means; (b) the planting of trees, hedges, shrubs or grass; (c) the formation of banks, terraces or other earthworks; (d) the laying out or provision of gardens, courts, squares, water features, sculpture or public art; and (e) the provision of other amenity features".
- 7.30 Landscaping will be subject to a future reserved matters application; however the submitted plans indicate the approach to proposed boundary treatments, hard surface treatments and soft landscaping.
- 7.231 The submitted boundary treatments plan illustrates 1.8m high close boarded fence garden boundaries and 1.8m high brick screen walls for prominent garden boundaries that face the public realm, in accordance with recommendations contained within the HDC Design Guide SPD 2017. The sewer easement to the east of the site is shown enclosed with 1.8m high close boarded fence with maintenance access gates to

prevent public access to the strip of land. A low 0.9m high wall is proposed wrapping around the frontage of Plot 20 where it addresses the footpath connection to the Samuel Jones Crescent development. The submitted proposed boundary treatment details are considered to be acceptable and accord with those approved within the 20/02425/REM Phase 1 development.

- 7.32 Details of hard landscaping are illustrated on the highway finishes plan with asphalt concrete for the adoptable turning head and individual driveways, and Marshalls Keyblok brindle block paving for the shared surface road and private drives. Gravel paths are proposed to form a continuation of the leisure route that extends across the northern edge of the site and grass-crete is proposed for the emergency access to Great North Road. The proposed hard landscape details are considered to be acceptable and accord with those approved within the 20/02425/REM Phase 1 development.
- 7.33 The soft landscaping plan submitted is indicative at this stage but shows the expected approach to tree and shrub planting which will create defensible planted thresholds, soften side garden boundaries and break up areas of frontage parking, the principles of which are considered to be acceptable.
- 7.34 The HDC Landscape Officer has reviewed the submitted details and has confirmed that there are no objections to the proposals in principle. The officer has noted that following receipt of amended plans and details the northwestern boundary hedgerow/tree belt will remain free from urbanisation and changes in character, with additional native heavy-standard tree planting indicatively proposed.
- 7.35 The Landscape Officer has commented that the existing access road (which is to be retained as restricted emergency access) is to be planted with a wildflower meadow mix and flanked with native buffer mix of tree species, which is welcomed and will enhance the existing hedgerow/tree belt.
- 7.36 It has also been noted that spatial allowance has been made within the layout at the south-eastern corner of the proposed site, which adjoins

the attenuation pond within the 18/01492/OUT application site area. The officer considers that there should be an interface between the attenuation pond and private road, which should be softened by hedge/shrub/tree planting. As noted, landscaping is a reserved matter, so these details will be agreed at a later stage.

Impacts to Neighbouring Amenity

- 7.37 This application site is located immediately to the south west of the Samuel Jones Estate and to the north of the Phase 1 Bloor Homes Paxton Mill development.
- 7.38 In relation to potential impacts on existing residents, the proposed units are arranged to back on to and secure the rear garden boundaries of Plots 141-155, and 157-162 to the south and west within the 20/02425/REM Phase 1 development and accord with the recommended 21m back-to-back separation distance set out in the HDC Design Guide 2017 SPD.
- 7.39 Plots 20-23 located to the east of the application site are arranged to back on to or sit parallel with the eastern site boundary and existing sewer easement. At the closest point, the side elevation of Plot 23, containing a first floor bathroom window, would be located approximately 12.8m from rear garden of number 20 Holly Blue Close. Plots 21 and 23 would be located perpendicular to the rear gardens of numbers 19 and 20 Holly Blue Close, but would be separated by the sewer easement and existing hedgerow creating a separation distance with neighbouring gardens of approximately 23m.
- 7.39 A condition will be imposed to ensure that all bathroom and en-suite windows will be fitted with an obscure glazing. However, it is considered necessary to impose a further condition to ensure that the bathroom window of Plot 23 is fitted with an obscure glaze and a restricted opening given its positioning relative to eastern site boundary and the potential for views across the private amenity space of number 20 Holly Blue Close.

- 7.40 The submitted external levels plan confirms a finished floor level of 17.00m AOD for Plot 20, 17.600m AOD for Plot 21 and 22 and 16.950m AOD. These units have a ridge height of approx. 8.2m from finished floor level and would reach between 25.2m and 25.8m AOD, forming a similar ridge height to numbers 19 and 20 Holly Blue Close and are therefore considered to be acceptable.
- 7.41 The finished floor levels of Plots 1-12 backing onto the southern and western boundary are comparable to existing adjacent units in Phase 1 and are therefore considered to be acceptable. Whilst the submitted building levels are considered acceptable, a notwithstanding condition will be attached to secure details of all site levels as part of the landscaping REM to ensure that the finished floor levels work with the existing and proposed ground levels for gardens and paths.
- 7.42 One neighbour comment has been received in relation to the proposals objecting to the development on grounds of impact to residents at the Samuel Jones Estate in relation to the loss of views and privacy. The loss of a private view is not a material planning consideration. With regard to concerns relating to privacy, the separation distances and layout / configuration of the dwellings proposed closest to the Samuel Jones Estate are all considered to be acceptable subject to a condition relating to obscure glazing / restricted opening at plot 23, as noted above.
- 7.43 With regards to construction impacts on surrounding amenity, a Construction Environment Management Plan (CEMP) will be secured through a condition. The CEMP will consider matters such as access arrangements during construction, working hours, delivery times, noise, vibration, dust management, wheel washing, hoarding, safety information signing and compound location, with these details agreed prior to commencement of development. In addition, any CEMP will include an appropriate point of contact for local residents who may be experiencing issues, together with proposals to ensure resolution. The LPA is not aware of any issues raised during the construction of Phase 1 which has neighbouring properties in a similar relationship to those proposed through this application. It is considered that this is a

reasonable approach to mitigate the construction impacts of the development on surrounding amenity.

- 7.44 Subject to the conditions set out above, it is considered the proposal is therefore considered to accord with policy LP14 of Huntingdonshire's Local Plan to 2036 in respect to off-site neighbour amenity impacts.

Amenity of Future Occupants

- 7.45 The application is in outline form, but with detailed design and layout being determined now and only landscaping as a reserved matter. Consideration should therefore be made now to whether it is likely, having regard to the details available, that satisfactory arrangements can be made for future occupants with regards to amenity.
- 7.46 In respect to amenity, given the scale of the application site, officers consider that the proposed residential units provide sufficient amenity space and are not adversely impacted through overlooking or loss of light. It is noted that, in any event, occupants would be aware of the layout and relationship of the site and would be able to make an informed decision on how that relationship would relate to their personal needs.
- 7.47 The proposed layout and arrangement of first floor fenestration will create a situation of mutual overlooking of rear amenity spaces for the majority of the proposed dwellings. Only plots 17 and 18 do not comply with the Huntingdonshire Design Guide to achieve a back to back distance of 21m; but in this instance the proposals that illustrate a distance of 19m (just under a 10m depth of garden for each dwelling) is considered acceptable given the layout and location of windows.
- 7.48 The proposed development is therefore considered to be acceptable in terms of the levels of privacy, light and outlook afforded to both existing neighbouring properties and future occupants of the proposed development.

Trees and Open Space

- 7.49 Policy LP31 of Huntingdonshire's Local Plan to 2036 explains that proposals will be required to demonstrate that the potential adverse impacts on trees, woodland, hedges and hedgerows has been investigated.
- 7.50 The application is supported by an Arboricultural Impact Assessment which notes that the site is surrounded by hedgerows and trees to the northern and northern part of the eastern boundaries, with the southern and western boundaries located within the area of open space (associated with the Phase 1 development). The report states that along the northern and eastern parts of the site the trees and groups contribute significantly to the wider landscape; however the overall quality varies considerably and many are of low or poor value as individuals due to structural defects, poor historical management or other reasons.
- 7.51 The submitted report explains that of the five trees on site, two were assessed as being semi-mature, two were early mature and one was mature. The survey assessed the tree population as consisting of predominantly poor and low-quality trees; of the five survey entries two were Category U, one was of low quality and value (category C), and the remaining two were assessed as being moderate quality and value (category B).
- 7.52 The proposals will result in the removal of two trees (English Elms) to facilitate footpath construction. In addition, sections of G25 and G1 will require trimming / pruning back, however their loss to public amenity is considered to be negligible due to their poor overall condition and the ability to replace with high quality planting. These tree groups are also located internally to the site, thereby minimising the impact of development on the local landscape.
- 7.53 The submitted report details tree protection fencing to be installed around three trees (T2, T3 and T4) during construction.

- 7.54 The application is also supported by an addendum tree report which provides details of works near to the Turkey Oak tree at the front of the site, associated with the proposed gravel footpath along the northern perimeter of the site. This submitted report notes that the Root Protection Area (RPA) does not contain all the tree's roots, and so provided that any encroachment over the RPA would not destabilise the oak tree or reduce the roots' assimilative function to any significant extent, the balance of the root system would sustain the tree. The applicant proposes to install an open space footpath with a surface course of self-binding golden gravel over a sub-base of MOT Type 1, crushed rock or recycled aggregate with particle sizes ranging from 40mm to dust. It is stated in the report that this footpath will require there to be minor excavation with the RPA of the Turkey Oak tree (noting no more than 125mm in depth).
- 7.55 In relation to replacement planting, the submitted report notes that new trees will offer the opportunity to replace the poor and low quality trees that currently occupy the site to ensure the continuation of visual and green amenity for future generations.
- 7.56 The Council's Tree Officer has reviewed the Arboricultural information and advises that there are no objections subject to securing both submitted reports through compliance conditions, which are considered to be appropriate and necessary.
- 7.57 Although there will be a loss of a small number of trees / groups to facilitate the construction of the development, it is considered that these losses will be mitigated by replacement planting of both trees and shrubs; these will be agreed through the landscaping reserved matters submission in due course. Subject to compliance conditions the proposed development is therefore considered to comply with policies LP11, LP12 and LP31 of Huntingdonshire's Local Plan to 2036.

Housing Mix

- 7.58 Policy LP25 of Huntingdonshire's Local Plan states that a proposal for major scale development that includes housing will be supported where

it provides a mix of sizes, types and tenures which help achieve sustainable, inclusive and mixed communities. Proposals should set out how they respond to the Cambridge SHMA, the Council's Housing and Tenancy Strategy and other local housing and demographic studies and strategies.

- 7.59 The Cambridgeshire and West Suffolk "Housing Needs of Specific Groups" (2021) provides guidance on the mix of housing required to meet the needs of Huntingdonshire. This gives broad ranges reflecting the variety of properties within each bedroom category. This indicates a requirement for the following ranges needed; 0-10% 1 bedroom, 20-30% 2 bedroom, 40-50% 3 bedroom, 20-30% 4+ bedroom dwellings.
- 7.60 The application proposes the following market housing mix breakdown: 25% (4) 2 bedroom properties, 44% (7) 3 bedroom properties and 31% (5) 4 four bedroom properties.
- 7.61 The proposed housing mix is considered to be acceptable as it is in full accordance with policy LP25 and thus will help to achieve a sustainable, inclusive and mixed community in this locality with a good mix of sizes of dwellings on the site.
- 7.62 As noted later in this report, as set out in adopted policy LP24, proposals of this scale are required to contribute towards affordable housing, providing 40% of the dwellings as affordable units. The proposals provide for 10 affordable homes and are therefore in accordance with policy LP24 of Huntingdonshire's Local Plan to 2036.
- 7.63 The requirements within policy LP25 of Huntingdonshire's Local Plan to 2036 relating to accessible and adaptable homes are applicable to all new dwellings. This states that all dwellings (where practicable and viable) should meet Building Regulation requirement M4(2) 'accessible and adaptable dwellings'. These include design features that enable mainstream housing to be flexible enough to meet the current and future needs of most households, including in particular older people, those with some disabilities, and also families with young children.

- 7.64 The applicant has confirmed that all the dwellings meet the requirements of M4(2) and a condition will be attached to secure these Building Regulation requirements.

Water Efficiency

- 7.65 The requirements within policy LP12 of Huntingdonshire's Local Plan to 2036 relating to sustainable design and construction methods are applicable to all new dwellings. This states that all dwellings should meet Building Regulation requirement Approved Document G for water efficiency. The applicant has advised that the dwellings will all meet this requirement, achieving a water efficiency of 125L per day per person, as illustrated in the submitted Water Conservation Data Sheet. A condition will be attached to ensure that the dwellings are built in compliance.

Transport and Access

- 7.66 Paragraph 114 of the NPPF (2023) advises that in assessing applications for development, it should be ensured that 'appropriate opportunities to promote sustainable transport modes can be – or have been – taken up, given the type of development and its location' and that 'safe and suitable access to the site can be achieved for all users', and that any significant impacts from the development on the transport network (in terms of capacity and congestion), or on highway safety, can be cost effectively mitigated to an acceptable degree.
- 7.67 Paragraph 115 goes on to state that development should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.
- 7.68 Policy LP16 of Huntingdonshire's Local Plan to 2036 encourages sustainable transport modes and Policy LP17 supports proposals where they incorporate appropriate space for vehicle movements and adequate parking for vehicles and cycles.

- 7.69 The main consideration (in terms of access and highway matters) is whether there would be any severe adverse impacts on highway safety or on the transport network, as a result of traffic flows arising from the proposed development.
- 7.70 The proposals are accompanied by a Transport Statement (TS) and Travel Plan (TP). As noted earlier in this report and as confirmed in the submitted TS, access to the site will be taken via the extension of an existing turning head within the adjacent 199-dwelling phase 1 development and therefore no additional point of access is proposed onto the highway network.
- 7.71 The submitted TS explains that the proposed development is expected to generate 17 two-way vehicle trips during the AM peak period and 15 two-way vehicle trips during the PM peak period, with a total of 146 two-way vehicle trips per day. The proposed 26 residential dwellings will result in a reduction of 81 trips during the AM peak period and 72 trips during the PM peak period, resulting in an overall reduction of 354 trips per day when compared to a B1 use of the site as previously consented.
- 7.72 The submitted TS concludes that given that the proposed 26 residential dwellings will result in a significant net reduction in trips compared to a B1 use, it is deemed that the proposed dwellings will not result in a severe impact upon the local highway network.
- 7.73 With regard to the site access, the adjacent phase 1 development is served by a 5.5m wide priority junction taken from Great North Road. Given that the proposed 26 dwellings will form an extension of the 199 dwelling site currently under construction, the total number of dwellings (225) will be suitably accommodated by the 5.5m wide priority junction on Great North Road.
- 7.74 It is noted that a separate priority junction was proposed for the B1 use due to the potential for conflict between resident's vehicles and larger vehicles associated with the B1 use. However, as the proposed 26 dwellings will not attract HGVs or large vehicles other than refuse and delivery vehicles, and the site will generate significantly fewer movements, the submitted TS concludes that a second point of access

is not required given the small scale of the development. Given the quantum of development on the wider site an emergency access is however included as part of the proposals from Great North Road which will include two demountable bollards, along with lockable gates as part of the acoustic fence along the north eastern boundary of the site; the details of the lockable features will be secured by condition.

- 7.75 The proposals are also supported by a Travel Plan (TP), which states that a Travel Plan Coordinator (TPC) will be appointed and that Travel Packs will be provided to the residents of the site. These packs will be updated every 12 months and will contain the following information: plans showing the location of local amenities within close proximity to the site such as shops, leisure facilities and health facilities and relevant walking/cycle routes; bus timetable information of services operational in close proximity to the site; train timetable information for the most popular local routes as well as national services operational from local train stations; details of websites such as the RAC's route planning service 'www.rac.co.uk/route-planner' that specialise in route finding for walking, listing weather conditions and rest stops; information about the Travel Pack including how it works, why it is required and its purpose; and details of car share websites such as liftshare.com to encourage residents to car share.
- 7.76 The submitted TP explains that the following measures will be implemented in order to encourage travel to and from the site by public transport: each household can contact the TPC to obtain 6 x 1-day taster travel tickets for Stagecoach services; personalised journey planning will be available through discussions with the TPC upon contact from residents, as to make residents aware of their travel plan choices; and should any interest be made by residents, a community and dial-a-ride service will be investigated with details of this provided.
- 7.77 Cambridgeshire County Council Highway Development Management Team have confirmed that there are no objections to the proposals subject to conditions. These include details relating to the management and maintenance of the proposed streets; construction details of the roads, footways and drainage; roads to binder course level before any occupation; temporary facilities clear of the public highways during

construction; visibility splays prior to occupation; wheel washing facilities and construction traffic routes.

- 7.78 In relation to car parking, there are no specific parking policy standards within local policy. As noted earlier in this report, the submitted parking plan illustrates that all of the dwellings will have a minimum of 2 car parking spaces and four bedroom dwellings will have 3 parking spaces each. Visitor spaces are to be in addition with a total of 4 designated spaces. The overall level of car parking provision will be 57 on-plot parking spaces for the 26 dwellings (which rises to 61 once visitor spaces are included).
- 7.79 In relation to cycle parking, as already noted, each property will be provided with a secure cycle shed in their rear garden. Those with garages also have the option of storing cycles within these (as shown annotated on the submitted parking plan for the 4-bedroom properties).
- 7.80 Comments from the police have been noted in relation to cycle parking; their latest comments request that bicycle storage should be a robust shed and minimum specifications have been set out, which include cycle hoops being cemented into the floor with gold ground anchors of a galvanised steel bar construction (Sheffield stands) that have a minimum foundation depth of 300mm with welded 'anchor bar'. In relation to the reserved matters details approved under application reference 20/02425/REM which advised that the wider site was within an area of 'low' risk to the vulnerability to crime and where the police did not consider at that time it was necessary to require compliance with an imposed shed specification or that cycle hoops should be provided within the sheds cemented 300mm to the floor, it is considered that in this particular instance a consistent approach is adopted for these additional 26 dwellings. The shed specifications as detailed on the submitted plans are consistent with those already approved as part of the wider development and in this instance the provision of cycle parking (and sheds proposed) is considered acceptable. A condition will secure that the cycle parking sheds are provided prior to occupation of each unit.

- 7.81 It is therefore considered that sufficient car and cycle parking provision across the application site has been demonstrated, in accordance with LP17 of the Local Plan and the Huntingdonshire Design Guide (2017).
- 7.82 Detailed tracking plans have been submitted which confirm that refuse vehicles can safely manoeuvre around the site. Bin collection points will be secured by condition. Appropriate visibility splays can also be achieved, with the plans confirming a road width of 4.8m within the private elements.
- 7.83 It is considered that a safe means of access can be achieved for the development and the traffic generated by the proposal would not have a severe impact upon the highway network. Therefore, in accordance with paragraph 115 of the NPPF (2023), the development should not be refused on transport grounds. The proposed development complies with the NPPF (2023) and policies LP16 and LP17 of Huntingdonshire's Local Plan to 2036.

Ecology and Biodiversity

- 7.84 Paragraph 180 of the NPPF states that 'the planning system should contribute to and enhance the natural and local environment by: protecting and enhancing valued landscapes, sites of biodiversity or geological value and soils; recognising the wider benefits of ecosystem services; and minimising impacts on and providing net gains for biodiversity.'
- 7.85 Policy LP30 of Huntingdonshire's Local Plan to 2036 aims to conserve and enhance biodiversity and advises that opportunities should be taken to achieve beneficial measures within the design and layout of development and that existing features of biodiversity value should be maintained and enhanced. Policy LP30 also notes that a proposal will ensure no net loss in biodiversity and provide a net gain where possible and that large scale development proposals should provide an audit of losses and gains in biodiversity.
- 7.86 The proposals are supported by an Ecological Appraisal which confirms that three Sites of Special Scientific Interest (SSSI) lie within the 2km (St

Neot's Common, Little Paxton Wood and Little Paxton Pits), with two non-statutory sites falling within the 1km search area (Great Ouse and Portholme). With regard to great crested newts the submitted report confirms that the site supports no breeding habitat for these, with only the northern boundary providing any suitability as terrestrial habitat, as potential foraging habitat with the grassland and some foraging and sheltering habitat within the hedgerow base. It is noted that two ponds are located within the golf course located to the southeast of the site, the closest of which is sited approximately 250m away. However, earlier surveys as part of the outline application for the wider site surveyed these using eDNA survey which indicated the absence of great crested newts. Although the desk study returned no records of GCN, Little Paxton Pits SSSI is thought to support great crested newts but all sections of the SSSI are more than 500m from the application site and separated by existing development, thus no further surveys are required.

- 7.87 In relation to bats, the submitted report notes that the northern boundary edge provides a small area of potential bat foraging and commuting habitat for any bats present in the local area, with connection to other suitable habitat further east and west. It is stated that the remainder of the site holds negligible value for bats and that no further surveys are required.
- 7.88 In relation to other species the report explains that records for a variety of bat and bird species were returned for the local area, with otter on the River Great Ouse to the south and records of hedgehog in the nearby area.
- 7.89 The submitted report includes a number of recommendations including a sensitive lighting scheme to reduce any impact on bats, removal of vegetation outside the bird breeding season / vegetation checks prior to any removal, precautionary measures relating to badgers and habitat enhancements to include bat, bird and insect boxes alongside hedgehog fencing.
- 7.90 The proposals are also supported by a net gain report and metric (DEFRA Biodiversity Metric 4.0) which confirms that the proposals deliver a 1035% biodiversity net gain on site for habitat units and a

24.78% net gain for hedgerow units, given the current baseline on site is so low.

- 7.91 The Wildlife Trust have fully reviewed the submitted reports and metric and are satisfied that there are no significant ecological constraints to the proposed development and that the proposals demonstrate a net gain in biodiversity.
- 7.92 It is therefore considered that subject to a condition, the impacts of the proposed development on biodiversity would be minimised such that it would not have a significant adverse impact on biodiversity and would ensure the provision of measures to achieve net gains. The proposed development would accord with the NPPF (2023) and policy LP30 of Huntingdonshire's Local Plan to 2036.

Drainage and Flood Risk

- 7.93 The overall approach to flooding is given in paragraphs 165-175 of the NPPF and these paragraphs set out a sequential, risk-based approach to the location of development. This approach is intended to ensure that areas at little or no risk of flooding are developed in preference to areas at higher risk. It involves applying a Sequential Test to steer development away from medium and high flood risk areas (FZ2 and FZ3 land respectively), to land with a low probability of flooding (FZ1).
- 7.94 The application site wholly falls within FZ1 as designated within the Strategic Flood Risk Assessment 2017 and as shown on the Environment Agency maps, which represents the lowest flood risk of flooding from rivers and sea. Notwithstanding this the application is supported by a site-specific Flood Risk and Drainage Assessment (FRA).
- 7.95 The submitted FRA notes that the closest designated main river is the River Great Ouse, situated 500m south of the site. The River Kym is situated 500m west of the site. There is an existing highways ditch along the northern boundary of the site, which currently captures overland flows from the Great North Road.

- 7.96 Surface water from the proposed development is proposed to discharge into an existing balancing pond designed and installed as part of the Phase 1 development. A developable area of 0.745ha has been accommodated for within the 1.65m deep basin, which outfalls into the wider drainage network provided on the adjacent scheme, with the final controlled outfall into the River Great Ouse, as approved previously by the LLFA.
- 7.97 Although SuDS features have not been included within the application site, surface water flows generated will outfall into the wider Phase 1 development which features a variety of ponds and swales, to provide sufficient water treatment. It is proposed that foul water will connect via gravity into the adjacent Phase 1 development drainage; relevant capacity has been made within the wider foul water drainage network to facilitate this connection.
- 7.98 The submitted FRA concludes that the mitigation measures for surface water runoff flooding will therefore be implemented within the wider site, and the site will not create any flood risk issues for the wider area.
- 7.99 Cambridgeshire County Council as the Lead Local Flood Authority (LLFA) support the proposals, noting that the submitted documents demonstrate that the surface water from the proposed development can be managed through the use of tanked permeable paving and attenuation basin, restricting surface water discharge to 5l.s via flow control. The LLFA have confirmed they are in support of permeable paving as in addition to controlling the rate of surface water leaving the site, it also provides water quality treatment. The LLFA has suggested a number of conditions relating to detailed surface water drainage (including maintenance) and surface water run off during construction, which are considered appropriate and necessary. Anglian Water have not raised any objections to the proposals in relation to the used water network, but have requested a number of informative be added to any approval.
- 7.100 The proposed development is therefore considered to be acceptable with regards to flooding and drainage. In this regard, the proposed

development is considered to be compliant with the NPPF (2023) and Policies LP5 and LP15 of Huntingdonshire's Local Plan to 2036.

Noise

- 7.101 The application is supported by an environmental noise survey which explains that the general noise climate was dominated by road traffic noise on Great North Road. At the time of the survey there were construction activities occurring on the wider site, so monitoring positions were chosen to minimise contributions from these activities while obtaining a representative sample of the dominant noise affecting the site. A 3D noise model has been constructed in order to predict the propagation of sound across the proposed development.
- 7.102 The submitted statement explains that Approved Document O (Building Control legislation) states that '*In locations where external noise may be an issue (for example, where the local planning authority considered external noise to be an issue at the planning stage), the overheating mitigation strategy should take account of the likelihood that windows will be close during sleeping hours (11pm to 7am).*' A noise model has therefore been prepared to show the facades that are predicted to exceed the 'Reasonable' night time internal guideline values (5dB relaxation of internal criteria) for bedrooms with the windows open.
- 7.103 The report identifies a number of facades (across 13 properties) that are predicted to exceed the 'Reasonable' internal guidelines criteria during the night-time period. Alternative means of ventilation will therefore be required to provide the air changes necessary to provide 'comfort cooling', based on the outcome of an overheating assessment. It is proposed that these 13 properties will be fitted with continuous mechanical ventilation in affected habitable rooms, together with acoustic window vents and additional purge vents to mitigate overheating, the specification of which will be secured by condition.
- 7.104 In relation to external amenity areas, BS8223 states that it is desirable that the external noise level for amenity spaces, such as gardens and patios, does not exceed 50dB LAeq,T with an upper guideline value of

55dB LAeq,T which would be acceptable in noisier environments. However, the standard acknowledges that there may be areas where development is desirable where these guideline values are not achievable. This will be true for higher noise areas such as city centres or urban areas adjoining the strategic transport network, such as Great North Road. In such situations, a compromise between elevated noise levels and other factors might be warranted, such as the convenience of living in these locations and/ or making efficient use of land resources to ensure development needs can be met.

- 7.105 The submitted report and accompanying noise mitigation specification plan illustrates that a 2m high acoustic fence shall be installed along the front of the site adjacent Great North Road, as an extension to that erected associated with the previous 199 dwellings, to reduce noise levels.
- 7.106 The Environmental Health Officer has reviewed the submitted information and advised that the internal noise levels at the properties would be excessive due to road noise and so windows would have to be closed, noting that the recommended glazing requirements are acceptable. The officer has explained that where windows have to be closed to prevent excessive noise, alternative ventilation is necessary, and the report therefore recommends an overheating survey is undertaken and a ventilation strategy agreed and implemented. A condition relating to the submission of a noise mitigation scheme is proposed, which is considered to be necessary and reasonable.
- 7.107 In terms of noise, whilst there may be external areas that are in excess of recommended noise thresholds, these are limited, and internal areas are considered capable of being made acceptable and future occupants would be aware of the noise environment prior to occupation. Noting the comments of the Environmental Health Officer, who has raised no objections, officers consider that subject to conditions, the proposal would create a satisfactory noise environment for future occupants.
- 7.108 On the whole, and subject to conditions, officers consider the proposal has made adequate demonstration that a suitable amenity environment

can be achieved for future occupants, and therefore accords with policy LP14 of Huntingdonshire's Local Plan to 2036.

Contamination

- 7.109 Policy LP37 of the Local Plan states that where ground contamination of a site is possible, the risks of such needs to be investigated.
- 7.110 The application is supported by a geotechnical and geo-environmental report which explains that the site has a history of agricultural use only, apart from small scale historic sand/gravel extraction in the extreme south. The report notes that the site has been unused for a number of years, but that no significant contamination presence has been identified and no remediation measures are required.
- 7.111 The HDC Environmental Health Officer has fully reviewed the submitted report and raised no objections to the development, noting that there is no requirement for any contamination condition.
- 7.112 In order to mitigate potential contamination during construction a CEMP is considered necessary. This is a standard approach to mitigation in respect of ground and water contamination during construction and it is considered that such a condition is reasonable and necessary to ensure the development is fit for purpose and would not result in a risk to human health.
- 7.113 In light of the comments of the Environmental Health Officer subject to a condition relating to a CEMP as set out above, officers consider the proposal would not be at an unacceptable risk of impacts through contamination and the proposal would therefore accord with policy LP37 of Huntingdonshire's Local Plan to 2036.

Heritage Impacts

- 7.114 Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 require that special regard is had to the desirability of

preserving particular features of Listed Buildings and Conservations Areas and great weight should be afforded to the assets conservation. The Ancient Monuments and Archaeological Areas Act 1979 protects the archaeological heritage of Great Britain by making provision for the investigation, preservation and recording of matters of archaeological or historical interest.

- 7.115 The nearest Listed Building to the site is approximately 1km away to the north east, which is some distance away from the application site. The St Neots Conservation Area is some 330m to the south east of the site, beyond the river.
- 7.116 With regards to archaeological deposits, the County Historic Environment Team (CHET) has noted that the site has previously been subject to an archaeological evaluation (Cambridgeshire Historic Environment record reference ECB3279) responding to the results of a geophysical survey (CHER ref ECB3307). The results of the evaluation provided ambiguous evidence for prehistoric occupation, but not settlement related. It is noted that it is possible that the wider area had been periodically utilised for paddocks, fields and small animal enclosures, but artefact densities were extremely low and related solely to struck flints. At the river's edge, large post-medieval quarry pits were encountered for the extraction of sands and gravel.
- 7.117 No objections to the proposals have been received from CHET, who have noted that in light of recent fieldwork there is no requirement for further works relating to development proceeding in this location.
- 7.118 Officers therefore consider the proposed development would not give rise to any harm to heritage assets and the proposals are therefore considered to accord with the NPPF and policy LP34 of Huntingdonshire's Local Plan to 2036.

Section 106 Contributions and Community Infrastructure Levy (CIL)

7.119 Section 106 Obligations may be sought where they meet the tests of Regulation 122 of the Community Infrastructure Levy Regulations 2010 (as amended). Such obligations must be necessary to make the development acceptable in planning terms, directly related to the development and fairly and reasonably related in scale and kind to the development. S106 obligations are intended to make development acceptable which would otherwise be unacceptable in planning terms.

Site sub-division

7.120 Huntingdonshire District Council is a CIL charging authority, with the Huntingdonshire Developer Contributions SPD (2011) stating that all large scale major residential developments (those of 200 dwellings or more) will trigger the need for contributions, including amongst a range of contributions, those relating to education and school provision and healthcare, in addition to CIL requirements.

7.121 Paragraph 3.16 of the SPD notes that in line with Policy CS10 of the Core Strategy 2011 (now replaced by Huntingdonshire's Local Plan to 2036), to prevent avoidance of contributions any requirement will be calculated on the complete developable area, rather than the area or number of homes/ floorspace of a proposal, where the proposal forms a sub-division of a larger developable area, such as an identified large scale major development.

7.122 Policy LP4 of Huntingdonshire's Local Plan to 2036 (2019) 'Planning Obligations' states that in addition to CIL, contributions towards the provision of infrastructure, and of meeting economic, social and environmental requirements may be necessary to make a proposal acceptable in planning terms. It is noted in the policy that "*Subdivision of allocated sites in order to avoid liability for contributions will not be accepted. Contributions will be calculated on the complete developable area and apportioned appropriately.*" This same sentiment is reiterated

at paragraph 4.63 of Huntingdonshire's Local Plan to 2036, albeit it is more widely cast as this paragraph does not make specific reference to allocated sites as the policy does.

- 7.123 On 6th December 2018 outline planning permission was granted for the *“Development of up to 199 dwellings and 6,970 sq. metres (75,000 sq. ft) of class B1 business premises with open space, new accesses from The Great North Road, roads and associated infrastructure”* on land at Riversfield, Great North Road, Little Paxton under application reference 18/01492/OUT. This followed a refusal by the Development Management Committee (DMC) of a previous application 17/00108/OUT; the second application twin tracked a planning appeal, with the appeal subsequently withdrawn.
- 7.124 The DMC report dated 17 September 2018 noted *“This application site is for a small-scale major development (under 200 dwellings) and therefore CIL payments will contribute to off-site infrastructure, which may include footpaths and access, health, community facilities, libraries and lifelong learning, and education. If in future the developer gains permission to develop adjacent land as a second phase of this development and the number of residential units on both sites exceeds 200, then negotiated contributions for infrastructure would be sought.”*
- 7.125 Thus as the proposals fell under 200 dwellings in 2018, no S106 contributions towards healthcare, education or lifelong learning were secured, in accordance with the HDC Developer Contributions SPD, Policy CS10 of the Huntingdonshire Core Strategy (2011) and Policy LP4 of the Draft Huntingdonshire Local Plan to 2036: Proposed Submission (as amended for submission March 2028) which were the policies in place at the time of that decision.
- 7.126 On 28 May 2021 under application reference 20/02425/REM reserved matters relating to access, appearance, landscaping, layout and scale for 199 dwellings with open space, a new access from The Great North Road, roads and associated works, pursuant to outline planning permission 18/01492/OUT was granted consent.

- 7.127 Condition details approved on 22 September 2021 under application reference 21/80210/COND relating to condition 7 'phasing details' for 18/01492/OUT illustrated an area in the north eastern corner of the site annotated as 'employment land' and phase 4 of the proposals (the current application site).
- 7.128 As noted, no reserved matters application has been submitted for the employment land element of the 2018 proposals and this element of the outline planning permission has therefore now lapsed.
- 7.129 The employment land remains in the same ownership as it was at the time of the 2018 outline application, with Bloor Homes serving notice on the owner for their current application.
- 7.130 The applicants have not submitted any reserved matters details for the employment land (of which the outline has now lapsed) and therefore the site could be considered as having been sub-divided in order to avoid liability for contributions.
- 7.131 The previous employment land and this outline planning permission is considered to be read as the same overall development at the Paxton Mill site; on this basis Huntingdonshire District Council consider that the two parcels are considered to form a single site for the purposes of planning and the current proposal is considered to constitute (part of) a single development. This approach is considered to be consistent with the principles arising from the judgement set out in R (Westminster City Council) v First Secretary of State and Brandlord Ltd [2003].
- 7.132 The wider site proposals therefore comprise a 'Large Scale Major' development' as the development exceeds 200 dwellings. It is therefore reasonable to seek S106 contributions in accordance with Policy LP4 of Huntingdonshire's Local Plan to 2036 and the Developer Contributions SPD (2011) as the site is considered as having been sub-divided.
- 7.133 As the development exceeds 200 dwellings, contributions beyond CIL may therefore be sought through S106 obligations towards infrastructure in respect of health, education, footpaths, community facilities, libraries and lifelong learning, open space and sport facilities as necessary in relation to the proposal.

- 7.134 A number of comments have been received from consultees identifying where contributions are required towards infrastructure to accommodate the needs arising from this development (taken as a whole).
- 7.135 Without prejudice to the eventual determination of the planning application, negotiations have been held with the applicant in order to determine the extent of the obligations required to make the development acceptable. These negotiations have been held in line with the advice within the Regulations and the outcome is summarised below.
- 7.136 These obligations are all considered to meet the statutory tests and are compliant with relevant policies and the Developer Contributions SPD: -

Affordable housing:

- 7.137 As set out in adopted policy LP24, proposals of this scale are required to contribute towards affordable housing, providing 40% of the dwellings as affordable units. With the proposed number of dwellings being 26 this equates to a total of 10 affordable homes. The policies indicate that provision should be made on site and should seek to achieve a target tenure split of 70% social rented and 30% shared ownership. Policy does however acknowledge that, in determining the amount and mix of affordable housing to be delivered, site specific considerations and other material considerations, including viability, will be taken into account. In this instance, no site specific considerations have been submitted and therefore the proposal shall provide policy compliant affordable housing provision at 40%.
- 7.138 Detailed discussions have taken place with the Council's Housing Enabling Officer during consideration of the proposals. The officer has confirmed that the final matter regarding the desire to avoid party walls of different tenure has been met by way of amending the tenure of plot 2; thus plots 2 to 9 will be rented and plots 21 and 22 shared ownership. The officer has noted that as policy allows, this has the added benefit of providing one more rented home and achieves a 80:20 split.

7.139 The Housing Enabling Officer is therefore in support of this tenure split and mix of affordable dwellings proposed. The affordable housing will be secured through the S106 Agreement, to accord with policy LP24 and section A of the Developer Contributions SPD.

Health:

7.140 The Clinical Commissioning Group (CCG) in connection with NHS England has identified a contribution of £230,307 would be required towards healthcare provision, calculated on the average person yield from the number of dwellings provided (being 225 in total).

7.141 The CCG have confirmed that this contribution would be used towards the expansion (extension and refurbishment to increase patient capacity) at Buckden and Little Paxton Surgeries. It is noted that, while no specific surgery has been identified (either Buckden or Little Paxton), the focus to these two surgeries given their shared services in the local area is considered sufficient to meet the needs of the development. Officers consider this financial amount to be the requirement to mitigate the impacts of the development in terms of health provision and would be required in accordance with policy LP4 and section D of the Developer Contributions SPD.

Education:

7.142 The County Council, as Education Authority, have provided a detailed response regarding education capacity relating to early years, primary and secondary education.

7.143 In relation to early years, the population generated by both developments is above the current capacity and therefore contributions have been sought to accommodate the additional 62 early years children, of whom 44 are eligible for free entitlement (equivalent to 22.19 x 30-hour places). CCC will meet the demand for early years in Little Paxton by providing new early years places.

7.144 The County Council have therefore identified a contribution of £413,434.00 would be required towards new early years places in Little

Paxton, calculated on the number, mix and tenure of dwellings provided (being 225 in total).

- 7.145 CCC have confirmed that the developments together generate 64 primary school age children, but that there is capacity at Little Paxton primary school for the foreseeable future based on pupil catchment forecasts, as the school has previously undergone an expansion project (in advance of the 2018 proposals for 199 dwellings).
- 7.146 In relation to secondary education, the developments together have generated 41 secondary school age children. It is noted that whilst Longsands is forecast to have insufficient capacity, the neighbouring school Ernulf is forecast to have surplus capacity over the next ten years and therefore no contributions are necessary to mitigate the impact of this development in relation to secondary education.
- 7.147 The contribution towards early years provision is considered to be required to ensure the development accords with policy LP4 and sections C and G of the Developer Contributions SPD.

Green Space:

- 7.148 In accordance with Policy LP4 of Huntingdonshire's Local Plan to 2036 and the Developer Contributions SPD (Part B) proposals are required to provide the development specific land for informal and formal green space.
- 7.149 Based on a scheme of 225 dwellings (adding together the previously consented scheme with that now proposed), with the known size of properties, and the requirements of the Developer Contributions SPD, the overall development generates a requirement in the region of 1.086ha of public open space on site.
- 7.150 For the 26 dwellings currently proposed this amounts to 0.124m² of public open space; the submitted plans illustrate an area of 0.1542ha open space at the north western end of the site, meeting the policy requirement for such.

7.151 Details have been submitted by the applicant to demonstrate that the combined extent of public open space excluding SUDS areas measures 3.011ha, which significantly exceeds the 1.086ha minimum policy requirement for 225 dwellings based upon the housing mix. As such, the on-site open space is provided which complies with policy LP4 of Huntingdonshire's Local Plan to 2036 and the Developer Contributions SPD. This will be secured along with maintenance of the land through the S106 Agreement. This maintenance would comprise either a commuted sum following the transfer of the green space to the Parish Council or the District Council, or the site will be maintained by a maintenance company that would be set up by the developer and funded through contributions from residents of the site (as per the cascade mechanism in the Developer Contributions SPD). It is noted that the Parish Council has agreed to take on the open space relating to the wider site.

Residential wheeled bins:

7.152 A contribution towards waste would be required, specifically the provision of wheeled bins to serve the residential units. The amount required would be based on a per dwelling calculation, of £175 per dwelling, which equates to a contribution of £4,550. It is considered necessary to ensure the development has adequate waste infrastructure, in accordance with policy LP4 and section H of the Developer Contributions SPD.

CIL:

7.153 The development will be CIL liable in accordance with the Council's adopted Charging Schedule. CIL payments will amount to (based on current rates) circa £356,931.

S106 Summary:

7.154 Overall, of the obligations that have been identified and requested, the following are considered to meet the tests in 122 of the CIL Regulations

and would accord with policy LP4. They are recommended to be sought through a S106 legal agreement in the event of a resolution to approve;

- That 40% of the dwellings to be erected are affordable (with eight (80%) properties to be provided as affordable rented properties and two (20%) shared ownership properties.
- £230,307.00 towards the expansion of existing GP surgeries (Buckden and Little Paxton).
- £413,434.00 towards early years education.
- A contribution of £175 per dwelling towards the provision of bins.
- Informal open space provision on site alongside management and maintenance.

Other Matters

7.155 The Country Fire & Rescue service has recommended a condition or S106 contribution towards the provision of fire hydrants to serve the development. This is considered to be necessary to ensure the development has adequate service provisions to respond to emergency events and can be secured by condition as is standard practice.

8. Planning Balance and Conclusions

8.1 The application must be considered in accordance with the statutory tests in s.38 (6) of the Planning and Compulsory Purchase Act 2004, namely, determined in accordance with the Development Plan unless material considerations indicate otherwise. It has been demonstrated through the plan that there is a five-year supply of housing land, and in accordance with paragraph 76, this is sufficient to confirm that position. The policies which are the most important for determining the application are considered to be up-to-date and are afforded full weight.

8.2 The NPPF has at its heart the presumption in favour of sustainable development (para 11) and requires the approval of development proposals that accord with an up-to-date development plan without delay. The presumption in favour of sustainable development requires

proposals to achieve economic, social and environmental gains; as such a balancing exercise has to be undertaken to weigh the benefits of the scheme against its disadvantages. When considered in the round, the proposal would contribute to the economic, environmental and social dimensions of sustainability.

- 8.3 Consideration has been given to the points previously in this report but can be summarised as below.
- 8.4 In terms of the economic dimensions of sustainable development, the proposal would contribute towards economic growth, including job creation – during the construction phase and in the longer term through the additional population assisting the local economy through spending on local services / facilities. There will also be Council Tax receipts arising from the development.
- 8.5 Regarding the social dimension, the site appears to have no significant constraints and is deliverable. It would also increase the supply of housing. There is a local and district identified need for both private and affordable housing and whilst the Council can demonstrate a 5 year supply of deliverable housing land, the provision of market housing and a 40% affordable provision on the application site would amount to a moderate benefit in terms of providing a greater flexibility to the supply of housing. The proposals would also make provision for green space and maintenance, contributions towards healthcare and education and community facilities through the Community Infrastructure Levy.
- 8.6 In terms of the environmental dimension of sustainable development, the proposal offers visual enhancement of the existing site, the delivery of green space and a net gain in biodiversity. The visual impacts of the development are considered to be acceptable and the impacts from the adjacent noise sources (A1) would be made satisfactory for new residents. The application site constitutes a sustainable location for the scale of development proposed in respect of access to local employment opportunities and services and facilities within Little Paxton and the wider St Neots Spatial Planning Area; accessible by sustainable transport modes.

8.7 Having fully assessed all three objectives of sustainable development; economic, social and environmental within this report it is concluded that the development of this site will:

- Provide a supply of affordable and market housing within a sustainable location to help meet needs from current and future generations;
- Maximise opportunities for use of public transport, walking and cycling;
- Minimise pollution;
- Manage flood risk, drainage, contamination and health and safety risks effectively;
- Proposes access arrangements and a layout, appearance and scale of development that is acceptable in design terms;
- Provide housing which would provide a high standard of amenity for future occupiers;
- Have no adverse impacts on features of landscape or ecological value whilst enabling net gains in biodiversity to be achieved;
- Provide appropriate infrastructure to meet the needs generated by the development.

8.8 The application is considered to accord with adopted local and national policy, and appropriate conditions and planning obligations are capable of being imposed that will control the development and ensure infrastructure delivery (contributions) come forward at appropriate times to mitigate for the impacts of the development.

9. RECOMMENDATION - Delegated powers to APPROVE subject to completion of a S106 agreement and conditions in relation to the following:

1. Details of the landscaping (reserved matters) to be submitted prior to any commencement of works and within 3 years of date of permission.
2. Commencement within 2 years of reserved matters landscaping approval.
3. Accordance with approved plans.
4. Site levels to be submitted as part of REM.
5. Materials compliance.
6. Bin collection points detail and location to be submitted.
7. Cycle sheds in accordance with approved details prior to occupation.

8. Obscure glazing to all bathrooms / ensuites and restricted openings of bathroom window at plot 23.
9. Noise mitigation (window specification and ventilation / acoustic fencing).
10. Unexpected contamination.
11. Detailed surface water drainage scheme.
12. Surface water run off measures during construction
13. Fire hydrants details.
14. External lighting details.
15. Roads to be constructed to binder course prior to first use.
16. Construction details of roads, footways and cycleways.
17. Travel plan / residential welcome packs compliance.
18. Visibility splays provided prior to occupation.
19. Biodiversity enhancements.
20. Ecology report compliance.
21. Construction Environmental Management Plan to be submitted.
22. All dwellings to conform to M4(2) building regulations.
23. All dwellings to accord with water efficiency standard in Part G of building regulations.
24. Tree protection measures in accordance with approved details.
25. Tree no dig surfacing in accordance with approved details.
26. No vegetation clearance between 1st March and 31st August.
27. Details of lockable features on emergency access.

OR

REFUSE in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to **Laura Fisher, Senior Development
Management Officer**

laura.fisher@huntingdonshire.gov.uk

From: developmentcontrol@huntingdonshire.gov.uk
Sent: 21 October 2022 08:35
To: DevelopmentControl
Subject: Comments for Planning Application 22/01594/OUT

Comments summary

Dear Sir/Madam,

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 21/10/2022 8:34 AM from Mrs Jenny Gellatly.

Application Summary

Address:	Land At Riversfield Great North Road Little Paxton
Proposal:	Development of up to 31 dwellings. All matters reserved
Case Officer:	Laura Fisher

[Click for further information](#)

Customer Details

Name:	Mrs Jenny Gellatly
Email:	clerk@littlepaxtonparishcouncil.gov.uk
Address:	11 Hayling Avenue, Little Paxton, St Neots PE19 6HG

Comments Details

Commenter Type:	Town or Parish Council
Stance:	Customer objects to the Planning Application
Reasons for comment:	
Comments:	So while the Parish Council has no objection to houses on this area of land, we feel we must repeat the comments made by HDC in the Planning Advise letter and say that we could not approve the plan as it stands at present.

Kind regards

From: [DevelopmentControl](#)
To: [DevelopmentControl](#)
Subject: Comments for Planning Application 22/01594/OUT
Date: 05 January 2024 14:28:09

Comments summary

Dear Sir/Madam,

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 05/01/2024 2:28 PM from [REDACTED]

Application Summary

Address:	Land At Riversfield Great North Road Little Paxton
Proposal:	Outline application including matters of access, appearance, layout and scale (landscaping reserved for future consideration) for 26 dwellings
Case Officer:	Laura Fisher

[Click for further information](#)

Customer Details

Name:	[REDACTED]
Email:	[REDACTED]
Address:	[REDACTED]

Comments Details

Commenter Type:	Town or Parish Council
Stance:	Customer objects to the Planning Application
Reasons for comment:	
Comments:	Recommend objection

While the Parish Council has no objection to houses on this area of land and reiterates the advice in Planning Authority's letter to the developer dated 12 October 2021 and noting that should planning permission be given, then the development be properly considered as an enlargement of the existing housing estate and subject to CIL for 225 dwellings.

Kind regards

Comments summary

Dear Sir/Madam,

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 08/03/2024 8:05 AM from Mrs Jenny Gellatly.

Application Summary

Address:	Land At Riversfield Great North Road Little Paxton
Proposal:	Outline application including matters of access, appearance, layout and scale (landscaping reserved for future consideration) for 26 dwellings
Case Officer:	Laura Fisher

[Click for further information](#)

Customer Details

Name:	Mrs Jenny Gellatly
Email:	clerk@littlepaxtonparishcouncil.gov.uk
Address:	1 Hayling Avenue, Little Paxton, St Neots PE19 6HG

Comments Details

Commenter Type:	Town or Parish Council
Stance:	Customer made comments in support of the Planning Application
Reasons for comment:	
Comments:	It was agreed that the planning application will have no detrimental impact on either the area or neighbouring properties.

Kind regards

SCHEDULE OF PLANNING APPLICATIONS – 04 October 2022

No.	Reference	Development	SNTC Decision	Notes
S1	22/01842/OUT	Mr Scarr Land At 8 Cambridge Gardens St Neots New Dwelling	Object	Inappropriate development Effect on the conservation area
S2	22/01908/HHFUL	Mr Stephen Wright 1 Langwood Close Eaton Ford St Neots Erection of two storey side extension	Approve	In keeping with locality Improves the property Fits in with local street scene
S3	22/01998/FUL	Mr David Werrett Land Rear Of 147A Crosshall Road Eaton Ford Proposed erection of 2 x three storey 5-bedroom detached houses including access, carports and associated parking.	Object	See minute 052 of the attached agenda. 15 local residents in attendance who wish to speak about their concerns and objections to the proposed development. Overlooking property gardens which abut the south and west boundaries of the proposed development (Milton Avenue and Stevenson Court). Significant loss of various specimens of trees including over 41 specimens of poplar trees. HDC records show three protected trees within the proposed development (Tree Preservation Order ref TPO/015) an Elm, an Oak and a Norway (presumably a spruce), however these trees do not appear on the impact assessment nor are they mentioned within the report itself. Effect on the conservation area. Layout and density of building. Nature conservation – impact the proposed development will have on the biodiversity of the site and wider area. Residents asked that SNTC pass on the following concerns: <ul style="list-style-type: none"> • No public notice being displayed near the proposed site. • Neighbour consultations arrived late and some abutting the site have yet to receive a neighbour consultation. • The consultation time scales do not give residents enough time to respond.

SCHEDULE OF PLANNING APPLICATIONS – 04 October 2022

No.	Reference	Development	SNTC Decision	Notes
S4	22/02025/HHFUL	Mr Lawrence 45 Manor Grove St Neots PE19 1PP Replacement of flat roof with pitched roof to front porch and side elevation.	Approve	Improves the property. Makes efficient use of its site.
S5	22/01309/FUL	AJB Homes & Utilities Ltd 2 Queens Court Eaton Socon St Neots Erection of two x two-bedroom homes and associated works	Approve Cllr Slade abstained	Makes efficient use of its site. In keeping with locality.
S6	22/01594/OUT	James Caffrey - Bloor Homes Land At Riversfield Great North Road Little Paxton Development of up to 31 dwellings. All matters reserved	Approve Cllrs Pitt, Laycock and Kumar abstained	Makes efficient use of its site. Within a sustainable location.
S7	22/01910/TREE	Maciej Adamczyk Cambridge County Council Street Record Footpath Between St Marys Church and Peppercorn Lane Eaton Socon Proposal: T1 is the ash tree to crown lift to 3.5m above ground level this is under a tpo and the reasons for the works are to ensure the public footpath is clear and flowing and does not have obstructions. T2 is the Ash tree to crown reduce to give 2-3m clearance to the neighbouring property the Ash tree is not currently touching the property but does overhang the neighbouring property boundary line and it is prudent to prevent the tree from touching the property. I believe the home owners may of also raised the issue with the council. G1 is a hedge at the end of stratford place and has been allowed to grow out of control so reducing it down is prudent especially as it will allow pedestrins to see over the hedge in to stratford place for when they walk between the to. G2 is a section of Hedge and	Approve Cllr Laycock abstained	Committee members request that when the tree works are carried out that the paths are cleared back to their original width.

SCHEDULE OF PLANNING APPLICATIONS – 04 October 2022

No.	Reference	Development	SNTC Decision	Notes
		<p>occasional sing trees that has out grown the space and got to tall the plan is to bring them down to the fence height approx. 6 ft again I believe the home owners have raised the issue with the council. All of the maps have a light black line showing the path where we intend to crown lift to 2.5m above ground level and cut back to the edge of the path to allow free flow of pedestrians along the path.</p>		

Committee Chairperson

Schedule of Planning Applications – 9th January 2024

No.	Reference	Development	SNTC Decision	Notes
The following application/s are for listed building consent				
S1	23/02471/LBC	Robert Haselwimmer Tudor House, St Marys Street Eynesbury Improvements of entrance to include new pier caps and repairs to wall. Security gates. Insertion of new gate to the rear garden of Tudor House	Approved	Improves the property. Enhance the Character of the conservation area.
The following application/s are in a conservation area				
S2	23/02430/CLED	Mr Wicks Land At 516 Great North Road Eaton Ford Creation of access with gate and new fencing to amenity land	Noted	Members queried whether vehicle access was permitted as there was no dropped kerb present. Members asked that the planning authority advise if the lack of a dropped kerb prohibits vehicle access.
S3	23/02262/HHFUL	Mr Francis 20 Shaftesbury Avenue, St Neots PE19 1JY Erection of a garden Room in the rear garden	Approved	Makes efficient use of its site. Minimum impact on neighbours.
All other applications				
S4	22/01594/OUT	James Caffrey – Bloor Homes Land At Riversfield, Great North Road, Little Paxton Outline application including matters of access, appearance, layout and scale (landscaping reserved for future consideration) for 26 dwellings	Approved	Members only support the application if all the consultee comments are addressed. Members support Little Paxton Parish Council comments relating to the development be properly considered as an enlargement of the existing housing estate and subject to CIL for 225 dwellings.
S5	23/01507/FUL	Mr S Dix Low Carbon Solar Park 30 Ltd Land South Of Abbotsley Country Homes, Drewels Lane, Abbotsley Erection of a Solar Photovoltaic Farm with associated substations and other supporting infrastructure including battery storage, inverters and transformers, fencing, CCTV, landscaping and installation of underground high-voltage cable within public highway	Approved	Subject to consultee comments being addressed by the applicant. St Neots Town Council supports the generation of low carbon electricity locally.
S6	23/02369/HHFUL	David Harding 23 Belland Hill, St Neots, PE19 6AJ Erection of two storey and first floor side extensions and single storey rear extension to dwelling.	Approve	Improves the Property. We consider that the proposal would assimilate itself to the existing part of the town.

Schedule of Planning Applications – 9th January 2024

No.	Reference	Development	SNTC Decision	Notes
S7	23/02432/HHFUL	Mr Murat Gaygusuz 26 Gainsborough Avenue Eaton Ford, St Neots, PE19 7RJ Erection of single storey extension to rear of dwelling.	Approved	Improves the property. Efficient use of the site.
S8	23/02459/ADV	Paul Murfin Urban&Civic and Wintringham Partners LLP Wintringham Park Cambridge Road, St Neots Erection of V Board Sign	Approved	Will have no negative impact on the wider landscape character of the area.

Chairperson

Schedule of Planning Applications – 12th March 2024

No.	Reference	Development	SNTC Decision	Notes
The following application/s are for listed building consent				
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]
S7	22/01594/OUT	Land At Riversfield Great North Road, Little Paxton Outline application including matters of access, appearance, layout, and scale (landscaping reserved for future consideration) for 26 dwellings.	NOTED	Members would like all other statutory consultees to also be in support of the application. Members support the comments made by other statutory consultees to date.

Schedule of Planning Applications – 12th March 2024

No.	Reference	Development	SNTC Decision	Notes
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]

Chairperson

Development Management Committee



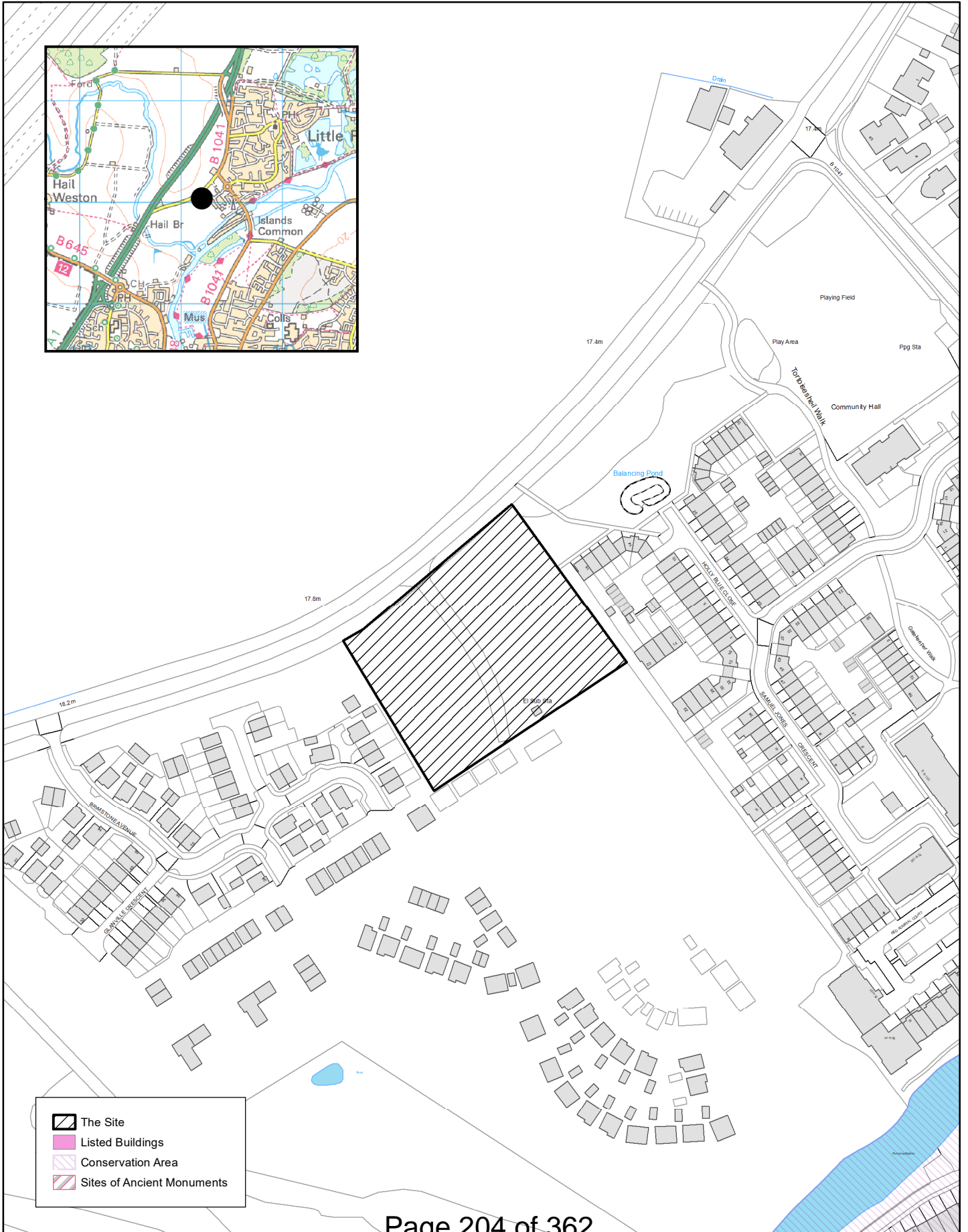
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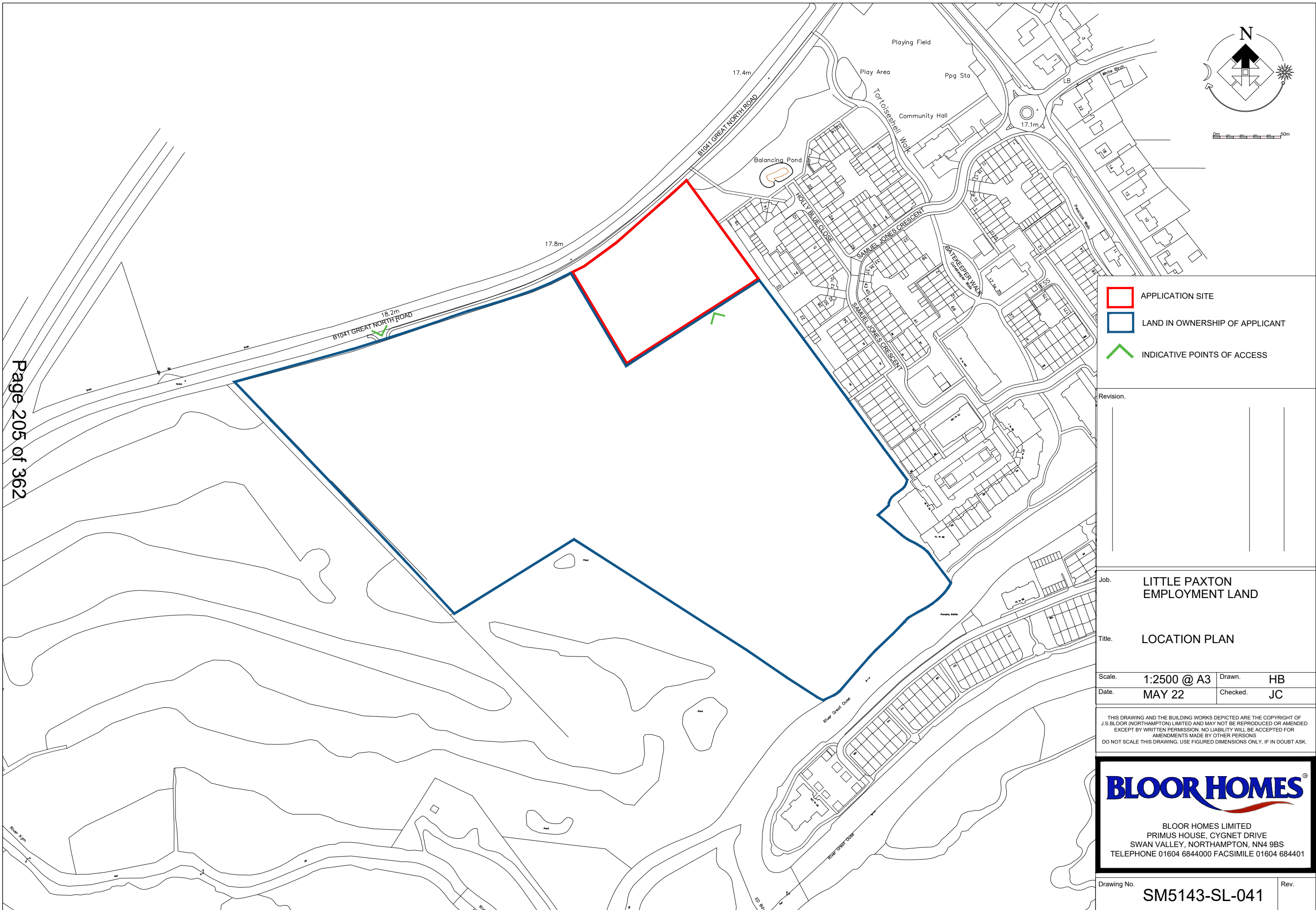
Application Ref:22/01594/OUT

Date Created: 09/04/2024

Location: Little Paxton

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Ordnance Survey HDC 100022322





Page 205 of 362

- APPLICATION SITE
- LAND IN OWNERSHIP OF APPLICANT
- ^ INDICATIVE POINTS OF ACCESS

Revision.

Job. **LITTLE PAXTON EMPLOYMENT LAND**

Title. **LOCATION PLAN**

Scale. 1:2500 @ A3	Drawn. HB
Date. MAY 22	Checked. JC

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BLOOR HOMES[®]

BLOOR HOMES LIMITED
PRIMUS HOUSE, CYGNET DRIVE
SWAN VALLEY, NORTHAMPTON, NN4 9BS
TELEPHONE 01604 6844000 FACSIMILE 01604 684401

Drawing No. SM5143-SL-041	Rev.
----------------------------------	------



Balancing Pond

2 No. Demountable bollards to control vehicular access

Page 206 of 362

Accommodation Schedule

Little Paxton Employer Based On: 0

Private				61.5%
Type	Beds	Storeys	No	
Ludlow	2	2	1	
Birchwood	2	2	3	
Lutterworth	3	2	3	
Keswick	3	2	4	
Warwick	4	2	3	
Dorchester	4	2	2	
				16

Rent

Rent				30.8%
Type	Beds	Storeys	No	
M42-2B4P Sedley	2	2	4	
M42-3B5P Southey	3	2	3	
Skoul	3	2	1	
				8

Shared

Shared				7.7%
Type	Beds	Storeys	No	
M42-3B5P Southey	3	2	2	
				2

Total

				26
--	--	--	--	----

DENOTES SECTION 104 SEWER EASEMENT

Revision.

A	Updated to reflect urban designer & housing enabling officers comments 20/12/2022	07.03.23	HB
B	Updated to reflect urban designer & housing enabling officers comments 17/03/2023	23.03.23	HB
C	Updated to reflect urban designer & housing enabling officers comments 07/09/2023	13.09.23	HB
D	Updated following meeting with planning officer 21/09/2023	17.10.23	HB
E	Updated following meeting with planning officer 17/11/2023	28.11.23	HB
F	Visitor bay near Plot 18 moved back behind service margin. Bollard control added to emergency access	25.01.24	WW
G	Affordable housing mix amended.	20.03.24	WW

Job: **COMMERCIAL AREA LITTLE PAXTON**

Title: **SITE LAYOUT**

Scale: **1:500 @ A2** Drawn: **HB**

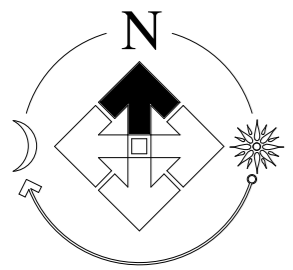
Date: **MAR 2023** Checked: **DP**

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BLOOR HOMES LIMITED
 PRIMUS HOUSE, CYGNET DRIVE
 SWAN VALLEY, NORTHAMPTON, NN4 9BS
 TELEPHONE 01604 6844000 FACSIMILE 01604 684401

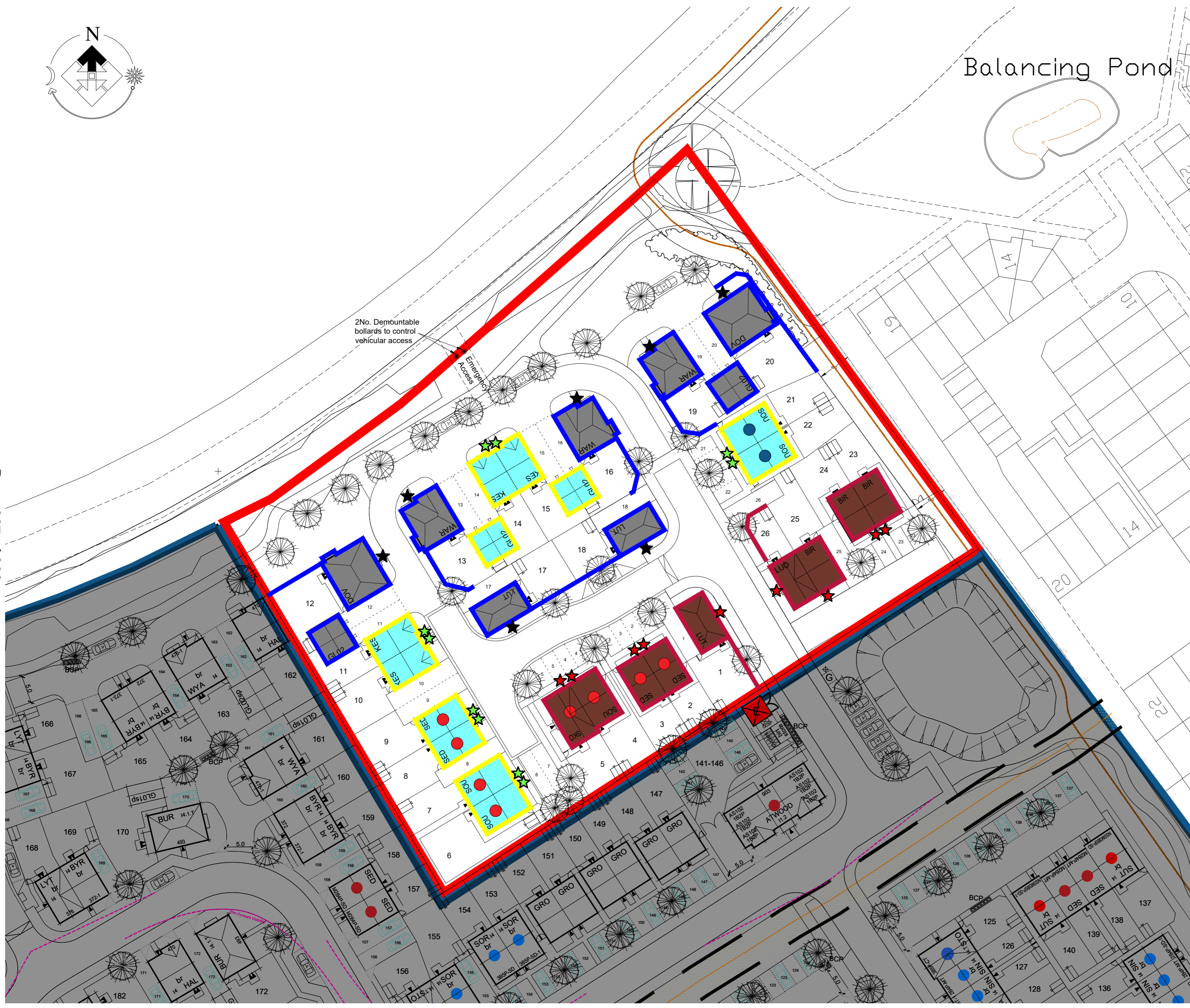
Drawing No. **SM05413-SL-001** Rev. **G**



Balancing Pond

2No. Demountable bollards to control vehicular access

Page 207 of 362



Facing Brick / Material:

- Forterra Clumber Red
- Ibstock Minster Beckstone Mixture
- AAB Mersea Buff Handmade Stock (DR61B)

Roof Tiles:

- Redland Richmond 10 - Smooth Grey
- Marley Duo Modern Smooth Grey
- Marley Duo Modern Old English Dark Red

Front Doors:

- PIGEON RAL DESIGN 120 70 05
- EATING ROOM RED RAL DESIGN 020 40 30
- CARD ROOM GREEN RAL DESIGN 120 60 10

PLEASE NOTE -
 PLOTS TO HAVE WHITE WINDOWS & WHITE FASCIAS & SOFFITS
 ALL GARAGE DOORS TO BE BLACK.
 DETAIL BRICK ON ALL PLOTS TO MATCH MAIN BRICK.

Revision	Description	Date	By
A	Updated to reflect latest site layout (Rev D)	30/11/23	HB
B	Boundary wall added to plot 20	19/01/23	HB
C	Updated to reflect latest site layout (Rev F)	25/01/24	HB
D	Updated following LID comments	23/03/24	HB
E	Updated to reflect latest site layout (Rev G)	20/03/24	COH

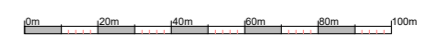
LITTLE PAXTON EMPLOYMENT LAND

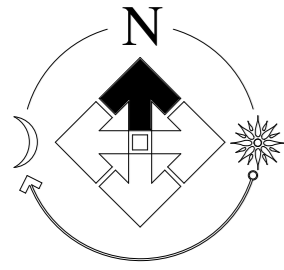
MATERIALS PLAN

DATE: 25/08/2023
 SCALE: 1:500 @ A2
 DRAWN: HB
 CHECKED: -



LITTLE PAXTON EMPLOYMENT LAND





Balancing F

CAR PARKING KEY:

- 2 BED - 2 SPACES (8No. x 2= 16 SPACES)
- 3 BED - 2 SPACES (13No. x 2= 26 SPACES)
- 4 BED - 3 SPACES (5No. x 3= 15 SPACES)
- VISITOR SPACES
- CYCLE STORAGE

HUNTINGDONSHIRE STANDARDS:

- DWELLINGS (MINIMUM) - 2 SPACES
- DWELLINGS 4+ BEDROOMS - 3 SPACES

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Revision			
A	Updated to reflect latest site layout (Rev D)	30/11/23	HB
B	Updated to reflect latest site layout (Rev E)	26/01/24	HB
C	Updated to reflect latest site layout (Rev G)	20/03/24	COM

LITTLE PAXTON
EMPLOYMENT LAND

Parking Plan

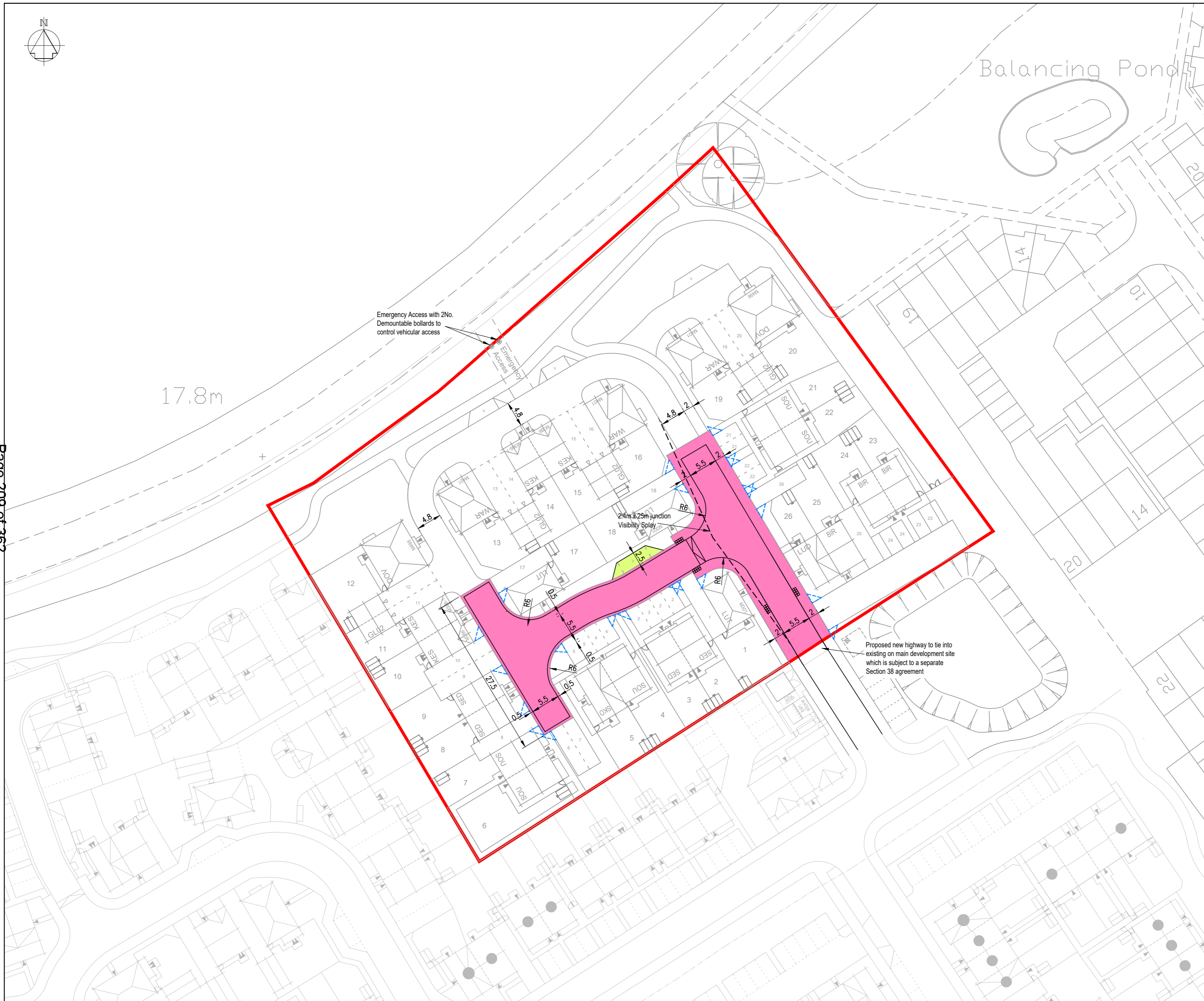
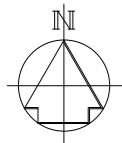
DATE: 25/08/2023
SCALE: 1:500 @ A2
DRAWN: HB
CHECKED: -



Drawing No. SM5413-PL-006C

LITTLE PAXTON EMPLOYMENT LAND





Notes

1. This drawing is strictly for discussion purposes only and is subject to detailed design, not to be used for construction.
2. The exact extent of adoption is to be agreed through the Section 38 technical vetting stage and alterations to the extent will be agreed with Cambridgeshire County Council during this process.

KEY

- Proposed Areas for adoption by Cambridgeshire County Council as part of Section 38 Agreement
- Junction Visibility Splays (as dimensioned on plan)
- Pedestrian to Vehicle Visibility Splays
- Visitor Parking Bays to be Owned and Maintained by Management Company

Revision.

A	Revised layout added (Rev E)	30.11.23	WW
B	Revised layout added (Rev F)	25.01.24	WW

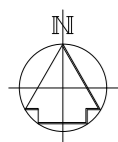
**LITTLE PAXTON
EMPLOYMENT LAND**

**PROPOSED HIGHWAY
ADOPTION PLAN**

DATE: **24.08.2023**
 SCALE: **1:500 @ A2**
 DRAWN: **KA**
 CHECKED: **WW**



BLOOR HOMES SOUTH MIDLANDS
 BEWICK HOUSE, 6 CYGNET DRIVE
 SWAN VALLEY, NORTHAMPTON, NN4 9BS
 TELEPHONE 01604 684400 FACSIMILE 01604 684401

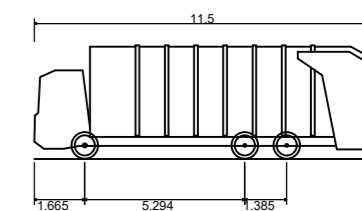


Balancing Pond

17.8m



VEHICLE DETAILS:



Eagle Elite 2 6x4 non rear steer, 11.5m long

Overall Length	11.500m
Overall Width	2.530m
Overall Body Height	3.756m
Min Body Ground Clearance	0.309m
Track Width	2.530m
Lock to lock time	4.00s
Kerb to Kerb Turning Radius	11.550m

Revision.

A	Revised layout used (Rev D)	30.11.23	WW
B	Revised layout used (Rev F)	25.01.24	WW

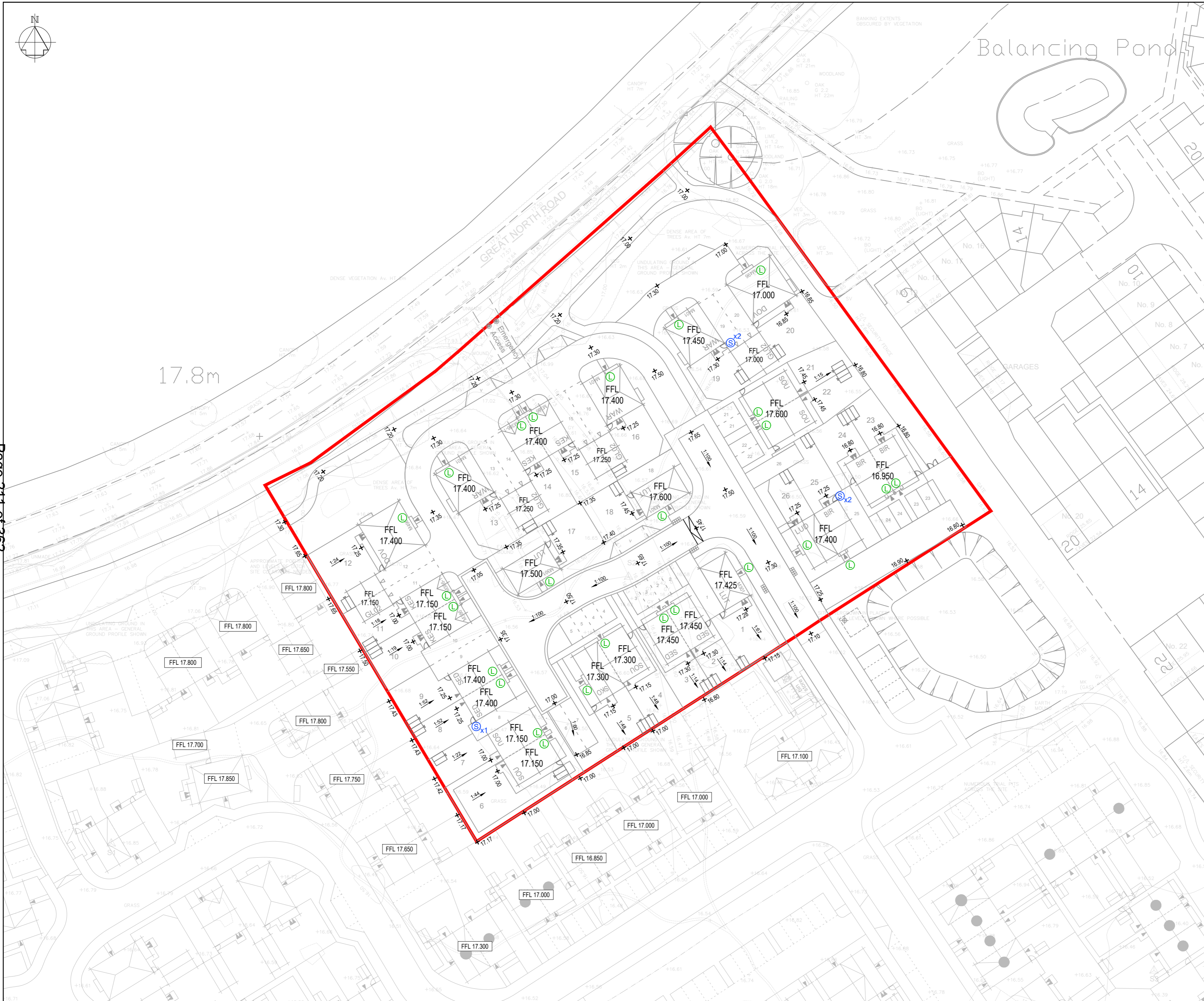
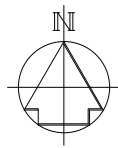
LITTLE PAXTON
EMPLOYMENT LAND

REFUSE VEHICLE
TRACKING PLAN

DATE: 30.08.2023
SCALE: 1:500 @ A2
DRAWN: JEP
CHECKED: WW



BLOOR HOMES SOUTH MIDLANDS
BEWICK HOUSE, 6 CYGNET DRIVE
SWAN VALLEY, NORTHAMPTON, NN4 9BS
TELEPHONE 01604 684400 FACSIMILE 01604 684401



Notes

1. This drawing is strictly for discussion and initial costing purposes only and is subject to detailed design.
2. The levels shown on this drawing are subject to variation through the detailed design.
3. This drawing is NOT to be used for construction purposes.

FFL 17.800 Proposed Finished Floor Level

FFL 17.800 Existing Finished Floor Level on Main Development Site

17.80 Proposed Finished Level

1:80 Proposed Gradient

L Level Access to ALL front doors

Sx1 Stepped access to rear gates (number of steps shown)

THE LEVELS ON THIS DRAWING ARE PRELIMINARY AND ARE SUBJECT TO MINOR VARIATION THROUGH THE DETAILED DESIGN STAGES

Revision.

A	Revised layout added (Rev E)	30.11.23	WW
B	Revised layout added (Rev F), Additional level details added	25.01.24	WW

LITTLE PAXTON
EMPLOYMENT LAND

INDICATIVE FINISHED
FLOOR LEVELS PLAN

DATE: 30.08.2023
SCALE: 1:500 @ A2

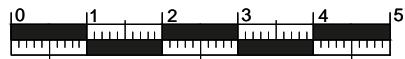
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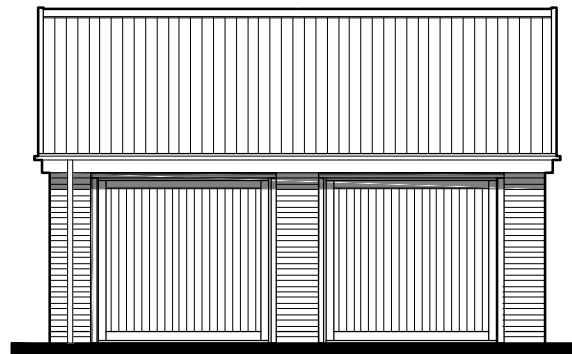
BLOOR HOMES SOUTH MIDLANDS
BEWICK HOUSE, 6 CYGNET DRIVE
SWAN VALLEY, NORTHAMPTON, NN4 9BS
TELEPHONE 01604 684400 FACSIMILE 01604 684401

Drawing No. SM5143-EN-007

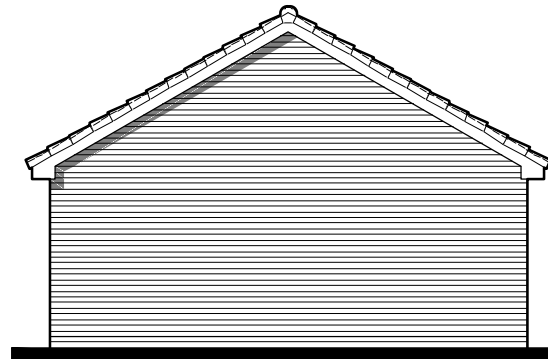
Rev. B



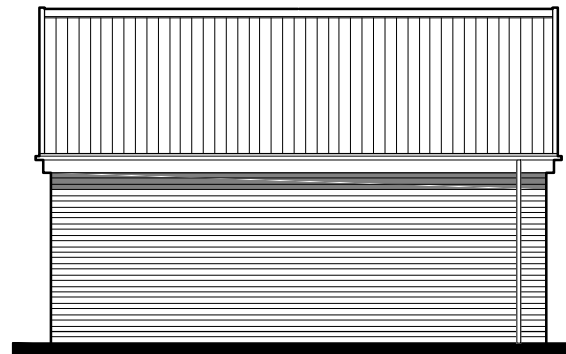
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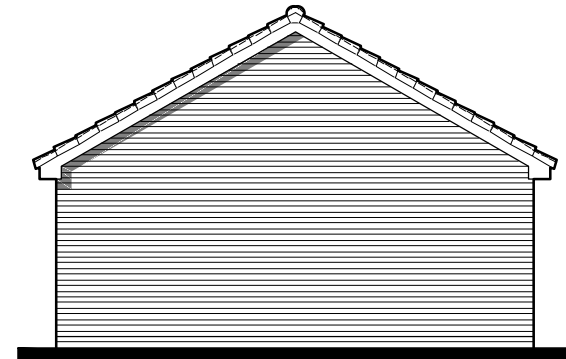
FRONT ELEVATION



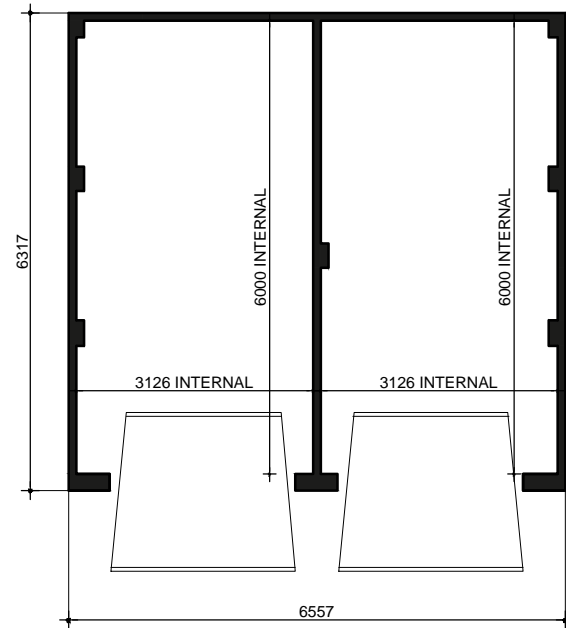
SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



FLOOR PLAN

Single (2)

BRICK
GL02.PL-01

DATE: APRIL 2019 REV:
SCALE: 1:100 @ A3

DRAWN: KS
CHECKED: GPM



LITTLE PAXTON
EMPLOYMENT
LAND

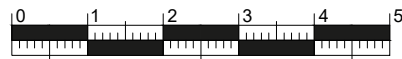
HOUSE TYPE PACK

NOVEMBER 2023

BLOOR HOMES

Little Paxton Employment Land (1-26)

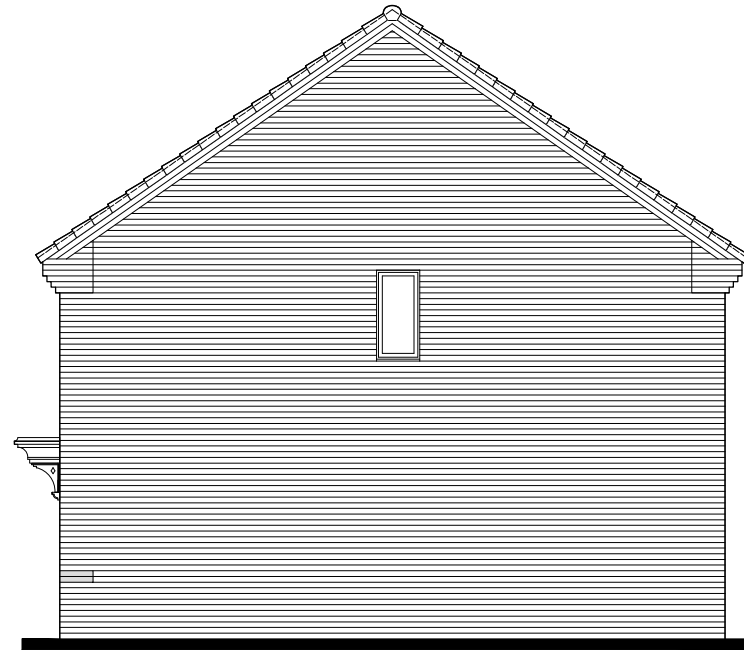
Plot	House type	Character	Elevation Style	As Standard(AS) /Opposite(OPP)	Elevation Drawing Number
1	Lutterworth	Classics	Brick	As	M301.PL-01
2	Sedley	Classics	Brick	As	M2B4P.PL-01
3	Sedley	Classics	Brick	As	M2B4P.PL-01
4	Southey	Classics	Brick	As	M868.PL-01
5	Skoul	Classics	Brick	As	M868.PL-01
6	Southey	Classics	Brick	As	M3B5P.PL-01
7	Southey	Classics	Brick	As	M3B5P.PL-01
8	Sedley	Classics	Brick	As	M2B4P.PL-01
9	Sedley	Classics	Brick	As	M2B4P.PL-01
10	Keswick	Classics	Brick	As	M386.PL-01
11	Keswick	Classics	Brick	As	M386.PL-01
12	Dover	Classics	Brick	As	M496.PL-01
13	Warwick	Classics	Brick	As	M401.PL-01
14	Keswick	Classics	Brick	As	M386.PL-01
15	Keswick	Classics	Brick	As	M386.PL-01
16	Warwick	Classics	Brick	Opp	M401.PL-01
17	Lutterworth	Classics	Brick	Opp	M301.PL-01
18	Lutterworth	Classics	Brick	As	M301.PL-01
19	Warwick	Classics	Brick	As	M401.PL-01
20	Dover	Classics	Brick	Opp	M496.PL-01
21	Southey	Classics	Brick	As	M3B5P.PL-01
22	Southey	Classics	Brick	As	M3B5P.PL-01
23	Birchwood	Classics	Brick	As	M372_372-1.PL-01
24	Birchwood	Classics	Brick	As	M372_372-1.PL-01
25	Birchwood	Classics	Brick	As	M807.PL-01
26	Ludlow	Classics	Brick	As	M807.PL-01



Scale 1:100



CLA372
FRONT ELEVATION



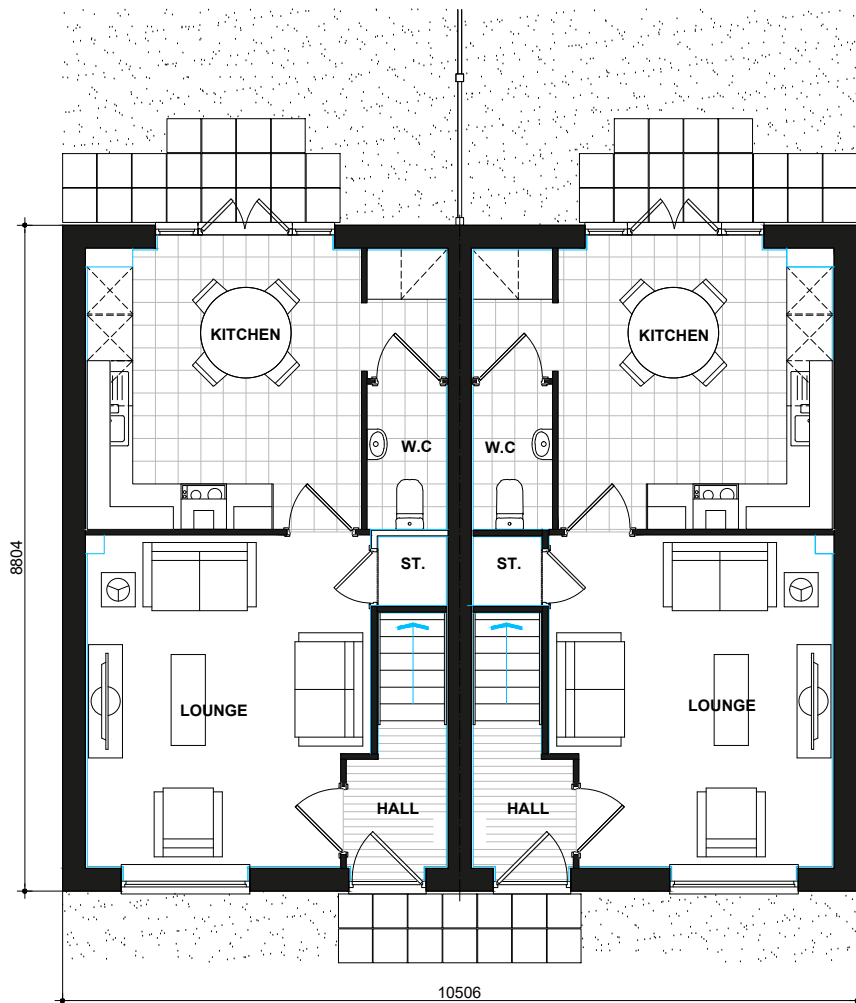
CLA372-1
SIDE ELEVATION



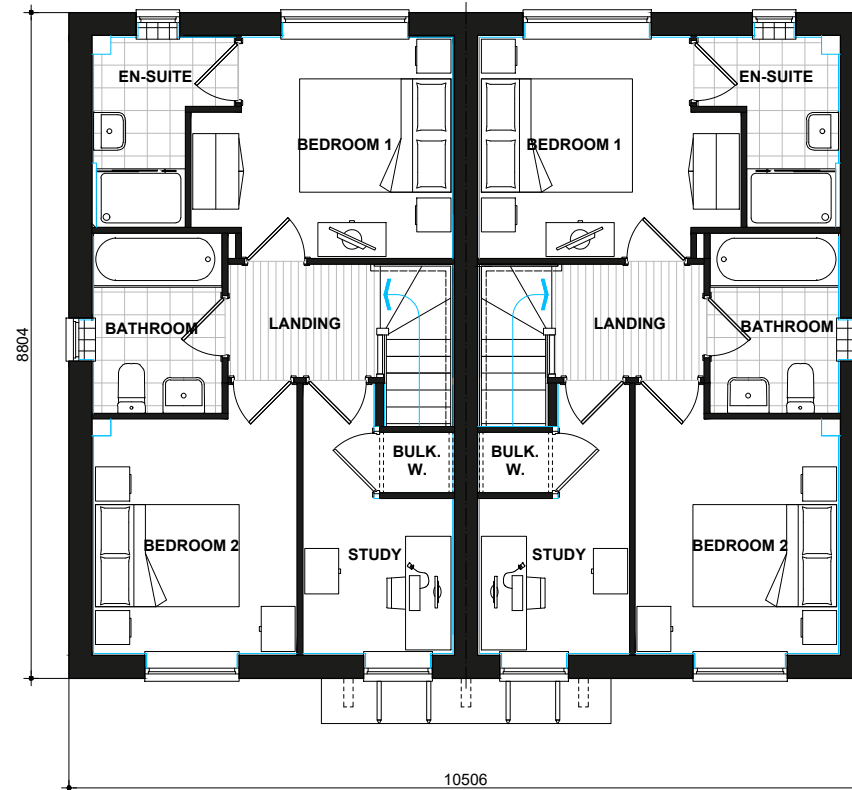
CLA372-1
REAR ELEVATION

CLA372

Page 215 of 362



GROUND FLOOR PLAN



FIRST FLOOR PLAN

BIRCHWOOD

CLA BRICK

372_372-1.PL-01

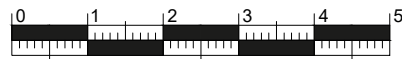
DATE: JUN 2023
SCALE: 1:100 @ A3

REV:

DRAWN: MW
CHECKED: GPM

78.72m²
847ft²

BLOOR HOMES



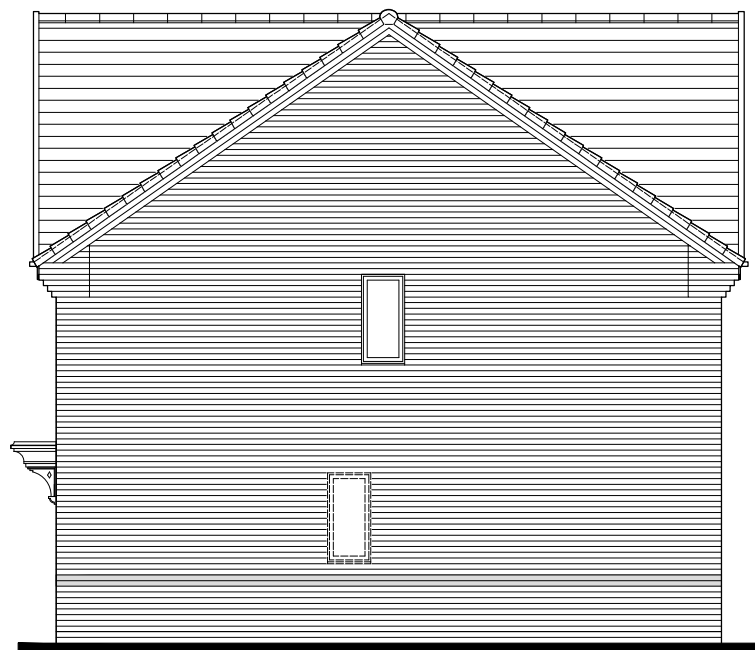
Scale 1:100



SIDE ELEVATION



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

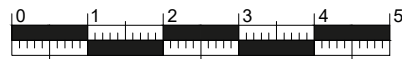
LUDLOW BIRCHWOOD

CLA BRICK
807.PL-01

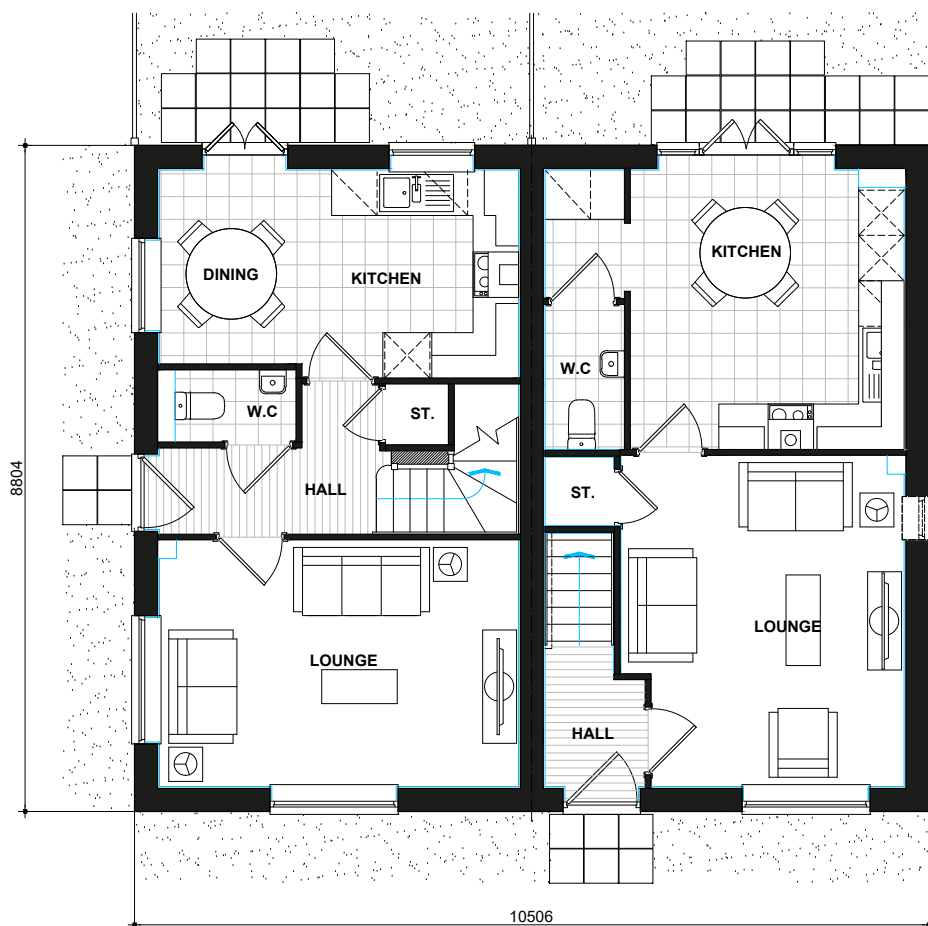
DATE: JUN 2023 REV:

SCALE: 1:100 @ A3

DRAWN: RW 78.72 m²/847 ft²
CHECKED: GPM 78.72m²/847ft²



Scale 1:100



GROUND FLOOR PLAN



FIRST FLOOR PLAN

LUDLOW BIRCHWOOD

807.PL-09

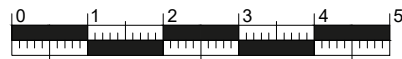
DATE: JUN 2023 REV:

SCALE: 1:100 @ A3

DRAWN: RW 78.72 m²/847 ft²

CHECKED: GPM 78.72m²/847ft²





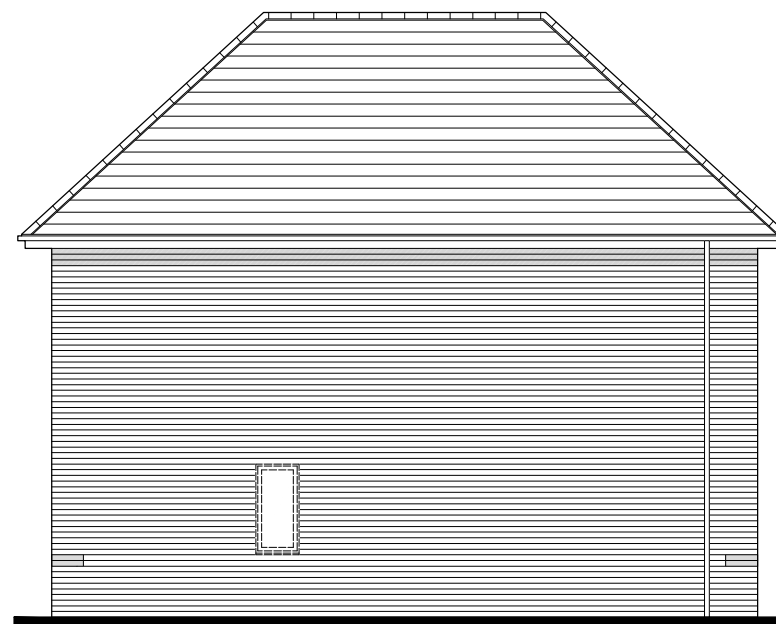
Scale 1:100



CLAM301
FRONT ELEVATION



CLAM301
SIDE ELEVATION

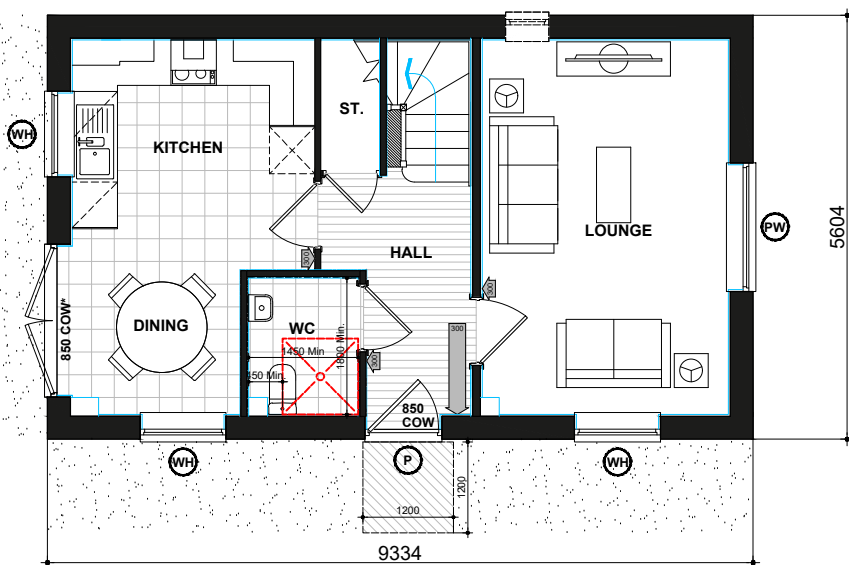


CLAM301
REAR ELEVATION

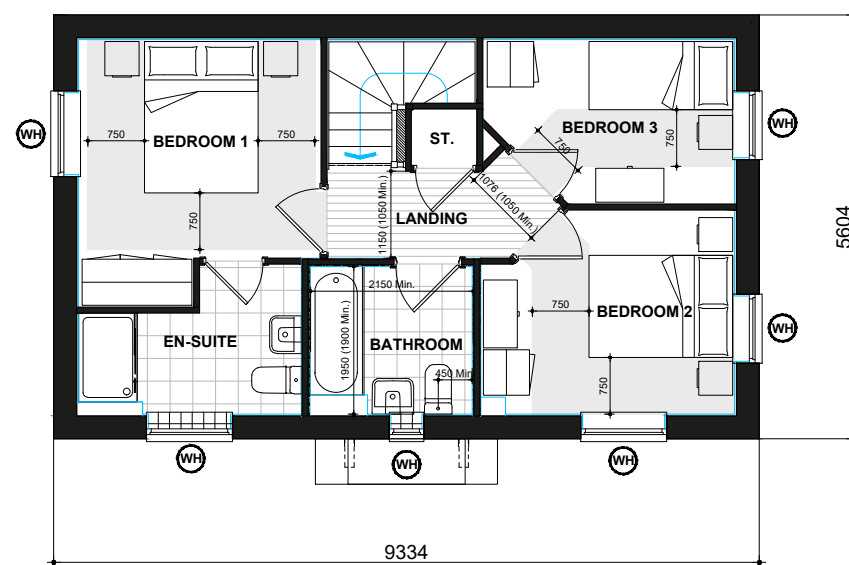


CLAM301
SIDE ELEVATION

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M301
GROUND FLOOR PLAN



M301
FIRST FLOOR PLAN

(P) (DENOTES : PRINCIPLE PRIVATE ENTRANCE NOMINATED AS STEP FREE ACCESS. ENTRANCE DOOR TO COMPLY WITH PROVISIONS A - 1 OF PARAGRAPH 2.20 PART M4(2) PRIVATE ENTRANCES. WITH A LEVEL EXTERNAL LANDING MIN. WIDTH/DEPTH OF 1200MM. FULLY DIFFUSED AUTOMATED LIGHTING TO BE PROVIDED TO ENTRANCE.) DOOR REVEAL DEPTH MAX 200MM TO DOOR FACE WHEN CLOSED.

850 COW (DENOTES : ENTRANCE DOORS TO HAVE 850mm CLEAR OPENING WIDTH. IN ACCORDANCE WITH PART M4 (2) DIAGRAM 2.2.

750 COW (DOUBLE DOORS NOT CLASSIFIED AS PRINCIPLE OR ALTERNATIVE ENTRANCE TO HAVE ONE OR BOTH LEAVES WITH 750MM CLEAR OPENING WIDTH OR BE ABLE TO BE OPERATED WITH SINGLE ACTION REASONABLY ACCESSIBLE TO WHEELCHAIR USER.

NOTE : PLEASE REFER TO SITE LAYOUT FOR AN ALTERNATIVE PRIVATE ENTRANCE WHERE A STEP FREE ACCESS CANNOT BE ACHIEVED TO THE PRINCIPLE PRIVATE ENTRANCE.

LEVEL EXTERNAL LANDING IS COVERED BY PORCH. MIN. WIDTH OF 900mm AND DEPTH OF 600mm FULLY DIFFUSED AUTOMATED LIGHTING TO BE PROVIDED TO ENTRANCE

(NIB) (DENOTES : 300mm NIB IS PROVIDED TO THE LEADING EDGE OF ALL DOORS ON THE ENTRANCE STOREY.

(NIB) (DENOTES : PRINCIPLE PRIVATE ENTRANCE A 300mm NIB IS PROVIDED TO THE LEADING EDGE AND THE EXTRA WIDTH MAINTAINED 1200mm BEYOND IT.

(1200) 1200mm MIN. CLEAR SPACE IN FRONT OF AND BETWEEN ALL KITCHEN UNITS & APPLIANCES.

(PW) (DENOTES : PRINCIPLE LIVING SPACE. GLAZED DOOR OR WINDOW CILL TO START MAX. 850mm AFFL. HANDLE OF 1NO. MIN. WINDOW IN PRINCIPLE LIVING AREA BETWEEN 450MM - 1200MM AFFL. UNLESS FITTED WITH REMOTE OPENING DEVICE WITHIN THIS HEIGHT RANGE.)

(WH) (DENOTES : ALL OTHER WINDOWS TO HAVE HANDLES LOCATED BETWEEN 450MM-1400MM AFFL. UNLESS FITTED WITH A REMOTE OPENING DEVICE THAT IS FITTED WITHIN THIS HEIGHT RANGE.)

BOILER TIMER CONTROLS & THERMOSTATS SHOULD BE EITHER:
 • MOUNTED BETWEEN 900MM AND 1200MM ABOVE FINISHED FLOOR LEVEL ON THE BOILER, or
 • HAVE SEPARATE CONTROLLERS (WIRED or WIRELESS) MOUNTED ELSEWHERE IN AN ACCESSIBLE LOCATION WITHIN THE SAME HEIGHT RANGE

ALL WALLS, DUCTS AND BOXINGS TO THE WC/CLOAKROOM, BATHROOM AND SHOWER ROOM SHOULD BE STRONG ENOUGH TO SUPPORT GRAB RAILS, SEATS AND OTHER ADAPTATIONS THAT COULD IMPOSE A LOAD OF UP TO 1.5kN/m²

ACCESSIBLE BATHROOM WITH WC/BASIN/BATH ON THE SAME FLOOR AS THE PRINCIPLE DOUBLE BEDROOM.

BED REFERENCES:
 KSB - KING SIZE BED 1500 X 2000
 DB - DOUBLE BED 1900 X 1350
 SB - SINGLE BED 900 X 1900

DOUBLE BEDROOM (PRINCIPLE) TO HAVE 750mm CLEAR ACCESS ZONE TO BOTH SIDES AND FOOT OF BED.

SINGLE OR TWIN BEDROOM TO HAVE 750mm CLEAR ACCESS ZONE TO ONE SIDE OF BED.

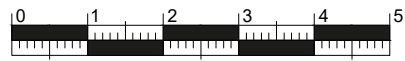
REFER TO DETAILS [IS906.1](#) & [IS906.2](#) FOR FURTHER INFORMATION.

**LUTTERWORTH
CLA BRICK
M301.PL-01**

DATE: JUN 2023 REV:
SCALE: 1:100 @ A3

DRAWN: JC 87.30.m²
CHECKED: GPM 940ft²



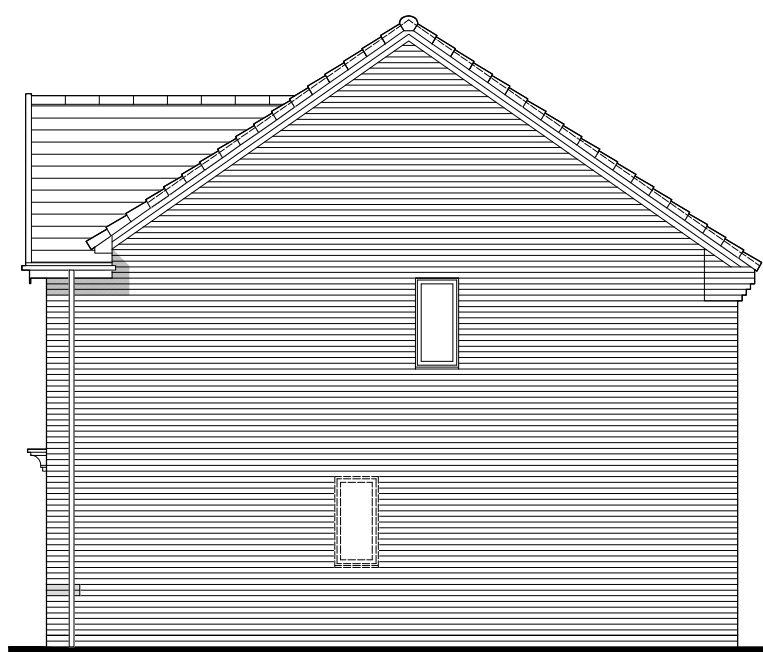


Scale 1:100



CLAM386 FRONT ELEVATION

CLAM386-1



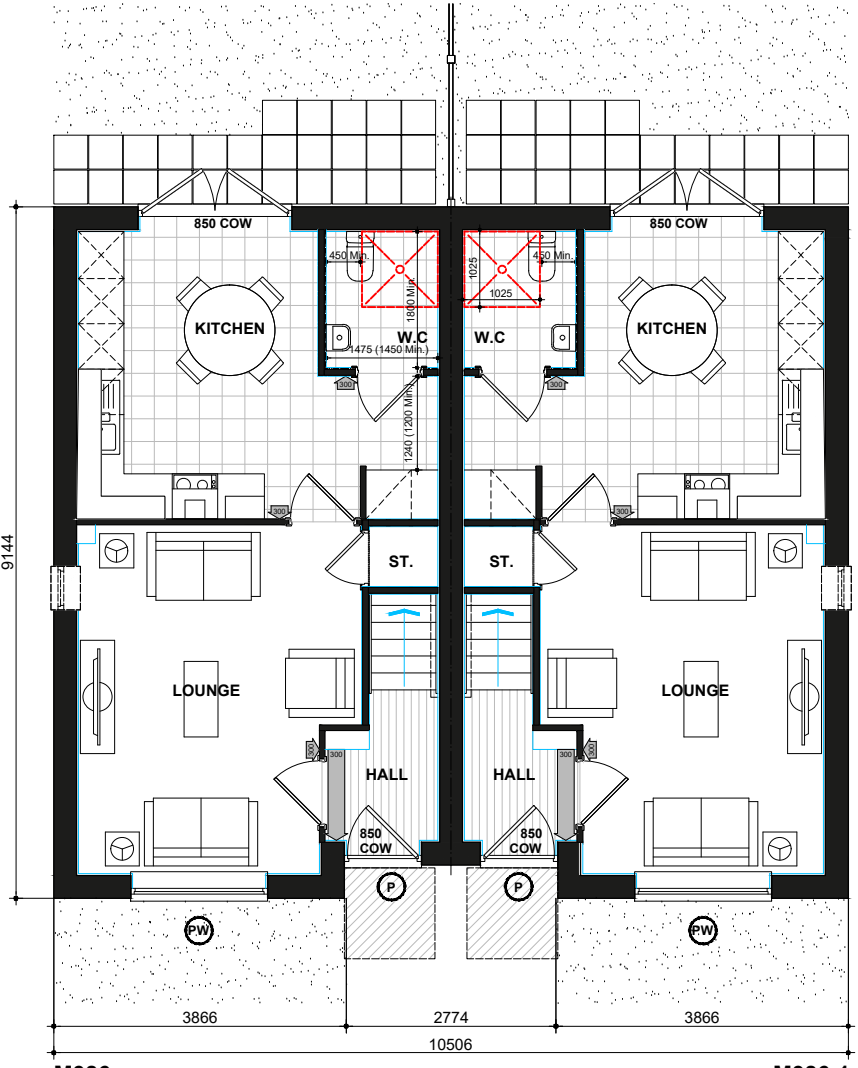
CLAM386-1 SIDE ELEVATION



CLAM386-1 REAR ELEVATION

CLAM386

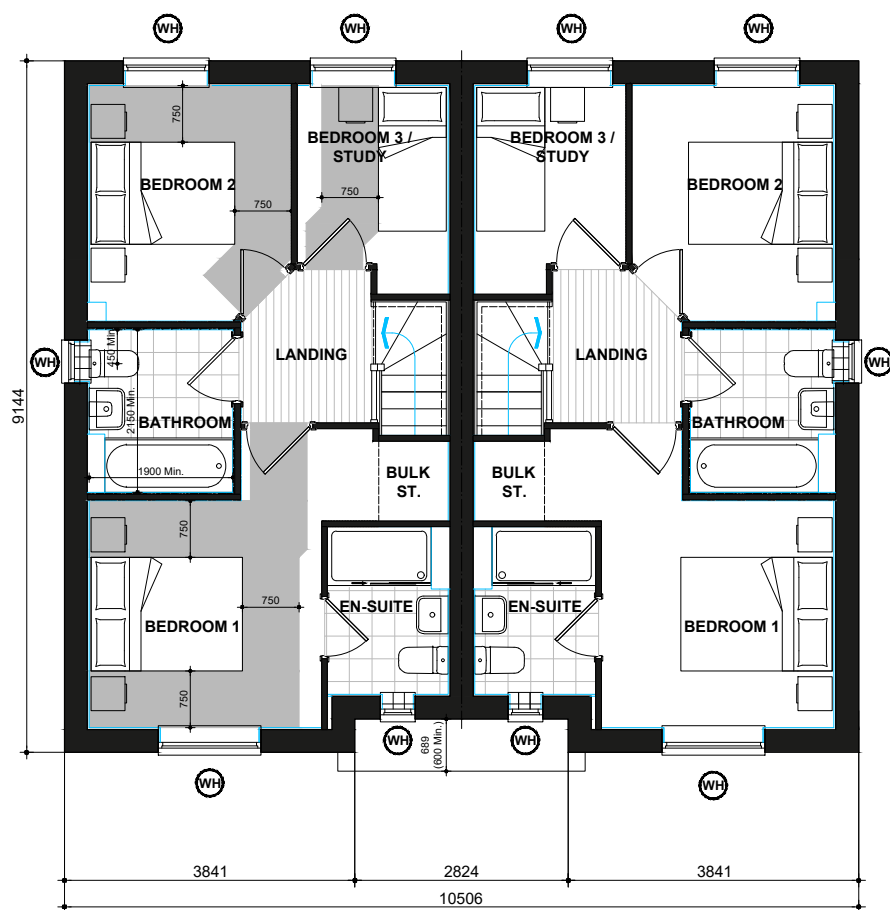
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M386 GROUND FLOOR PLAN

M386-1

- P** (DENOTES : PRINCIPLE PRIVATE ENTRANCE NOMINATED AS STEP FREE ACCESS. ENTRANCE DOOR TO COMPLY WITH PROVISIONS A-1 OF PARAGRAPH 2.20 PART M4(2) PRIVATE ENTRANCES WITH A LEVEL EXTERNAL LANDING MIN. WIDTH/DEPTH OF 1200MM. FULLY DIFFUSED AUTOMATED LIGHTING TO BE PROVIDED TO ENTRANCE.) DOOR REVEAL DEPTH MAX 200MM TO DOOR FACE WHEN CLOSED.
- P** DENOTES : ENTRANCE DOORS TO HAVE 850mm CLEAR OPENING WIDTH. IN ACCORDANCE WITH PART M4 (2) DIAGRAM 2.2.
- DOUBLE DOORS NOT CLASSED AS PRINCIPLE OR ALTERNATIVE ENTRANCE TO HAVE ONE OR BOTH LEAVES WITH 750MM CLEAR OPENING WIDTH OR BE ABLE TO BE OPERATED WITH SINGLE ACTION REASONABLY ACCESSIBLE TO WHEELCHAIR USER.
- NOTE** : PLEASE REFER TO SITE LAYOUT FOR AN ALTERNATIVE PRIVATE ENTRANCE WHERE A STEP FREE ACCESS CANNOT BE ACHIEVED TO THE PRINCIPLE PRIVATE ENTRANCE.
- LEVEL EXTERNAL LANDING IS COVERED BY PORCH, MIN. WIDTH OF 900mm AND DEPTH OF 600mm FULLY DIFFUSED AUTOMATED LIGHTING TO BE PROVIDED TO ENTRANCE
- NIB** DENOTES : 300mm NIB IS PROVIDED TO THE LEADING EDGE OF ALL DOORS ON THE ENTRANCE STOREY.
- NIB** DENOTES : PRINCIPLE PRIVATE ENTRANCE A 300mm NIB IS PROVIDED TO THE LEADING EDGE AND THE EXTRA WIDTH MAINTAINED 1200mm BEYOND IT.
- 1200mm MIN. CLEAR SPACE IN FRONT OF AND BETWEEN ALL KITCHEN UNITS & APPLIANCES.
- PW** (DENOTES : PRINCIPLE LIVING SPACE, GLAZED DOOR OR WINDOW CILL TO START MAX. 850MM AFFL. HANDLE OF 1NO. MIN. WINDOW IN PRINCIPLE LIVING AREA BETWEEN 450MM - 1200MM AFFL. UNLESS FITTED WITH REMOTE OPENING DEVICE WITHIN THIS HEIGHT RANGE.)
- WH** (DENOTES : ALL OTHER WINDOWS TO HAVE HANDLES LOCATED BETWEEN 450MM-1400MM AFFL. UNLESS FITTED WITH A REMOTE OPENING DEVICE THAT IS FITTED WITHIN THIS HEIGHT RANGE.)
- BOILER TIMER CONTROLS & THERMOSTATS SHOULD BE EITHER:
 - MOUNTED BETWEEN 900MM AND 1200MM ABOVE FINISHED FLOOR LEVEL ON THE BOILER, or
 - HAVE SEPARATE CONTROLLERS (WIRED OR WIRELESS) MOUNTED ELSEWHERE IN AN ACCESSIBLE LOCATION WITHIN THE SAME HEIGHT RANGE
- ALL WALLS, DUCTS AND BOXINGS TO THE WC/CLOAKROOM, BATHROOM AND SHOWER ROOM SHOULD BE STRONG ENOUGH TO SUPPORT GRAB RAILS, SEATS AND OTHER ADAPTATIONS THAT COULD IMPOSE A LOAD OF UP TO 1.5kN/m²
- ACCESSIBLE BATHROOM WITH WC/BASIN/BATH ON THE SAME FLOOR AS THE PRINCIPLE DOUBLE BEDROOM.
- BED REFERENCES:**
 - KSB - KING SIZE BED 1500 X 2000
 - DB - DOUBLE BED 1900 X 1350
 - SB - SINGLE BED 900 X 1900
- DOUBLE BEDROOM (PRINCIPLE) TO HAVE 750mm CLEAR ACCESS ZONE TO BOTH SIDES AND FOOT OF BED.
- SINGLE OR TWIN BEDROOM TO HAVE 750mm CLEAR ACCESS ZONE TO ONE SIDE OF BED.
- REFER TO DETAILS [IS906.1](#) & [IS906.2](#) FOR FURTHER INFORMATION.



M386 FIRST FLOOR PLAN

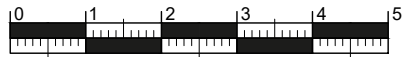
M386-1

KESWICK
CLA BRICK
M386.PL-01

DATE: JUN 2023 REV:
SCALE: 1:100 @ A3

DRAWN: JC 80.60m²
CHECKED: GPM 868ft²





Scale 1:100



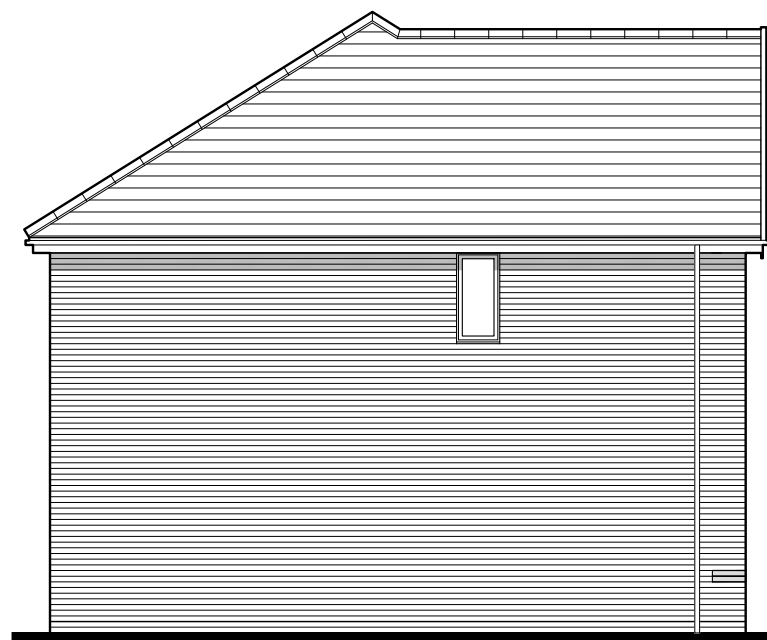
CLAM401
FRONT ELEVATION



CLAM401
SIDE ELEVATION



CLAM401
REAR ELEVATION



CLAM401
SIDE ELEVATION

WARWICK
BRICK
M401.PL-01

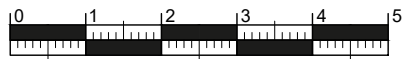
DATE: JUN 2023
SCALE: 1:100 @ A3

REV:

DRAWN: RW
CHECKED: GPM

121.81m²
1311ft²

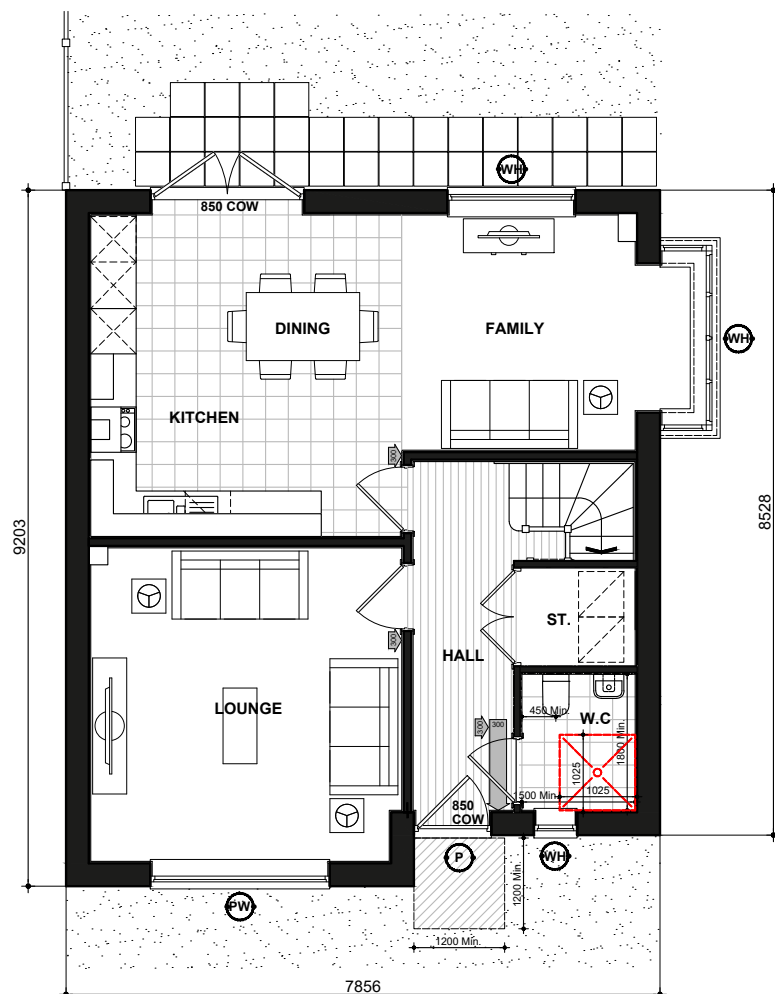




Scale 1:100



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M401 GROUND FLOOR PLAN

(P) (DENOTES : PRINCIPLE PRIVATE ENTRANCE NOMINATED AS STEP FREE ACCESS. ENTRANCE DOOR TO COMPLY WITH PROVISIONS A - 1 OF PARAGRAPH 2.20 PART M4(2) PRIVATE ENTRANCES. WITH A LEVEL EXTERNAL LANDING MIN. WIDTH/DEPTH OF 1200MM. FULLY DIFFUSED AUTOMATED LIGHTING TO BE PROVIDED TO ENTRANCE.) DOOR REVEAL DEPTH MAX 200MM TO DOOR FACE WHEN CLOSED.

850 COW DENOTES : ENTRANCE DOORS TO HAVE 850mm CLEAR OPENING WIDTH. IN ACCORDANCE WITH PART M4 (2) DIAGRAM 2.2.

750 COW DENOTES : DOUBLE DOORS NOT CLASSED AS PRINCIPLE OR ALTERNATIVE ENTRANCE TO HAVE ONE OR BOTH LEAVES WITH 750MM CLEAR OPENING WIDTH OR BE ABLE TO BE OPERATED WITH SINGLE ACTION REASONABLY ACCESSIBLE TO WHEELCHAIR USER.

NOTE : PLEASE REFER TO SITE LAYOUT FOR AN ALTERNATIVE PRIVATE ENTRANCE WHERE A STEP FREE ACCESS CANNOT BE ACHIEVED TO THE PRINCIPLE PRIVATE ENTRANCE.

LEVEL EXTERNAL LANDING IS COVERED BY PORCH, MIN. WIDTH OF 900mm AND DEPTH OF 600mm FULLY DIFFUSED AUTOMATED LIGHTING TO BE PROVIDED TO ENTRANCE

300 DENOTES : 300mm NIB IS PROVIDED TO THE LEADING EDGE OF ALL DOORS ON THE ENTRANCE STOREY.

300 DENOTES : PRINCIPLE PRIVATE ENTRANCE A 300mm NIB IS PROVIDED TO THE LEADING EDGE AND THE EXTRA WIDTH MAINTAINED 1200mm BEYOND IT.

1200mm MIN. CLEAR SPACE IN FRONT OF AND BETWEEN ALL KITCHEN UNITS & APPLIANCES.

(PW) (DENOTES : PRINCIPLE LIVING SPACE. GLAZED DOOR OR WINDOW CILL TO START MAX. 850MM AFFL HANDLE OF 1NO. MIN. WINDOW IN PRINCIPLE LIVING AREA BETWEEN 450MM - 1200MM AFFL, UNLESS FITTED WITH REMOTE OPENING DEVICE WITHIN THIS HEIGHT RANGE.)

(WH) (DENOTES : ALL OTHER WINDOWS TO HAVE HANDLES LOCATED BETWEEN 450MM-1400MM AFFL, UNLESS FITTED WITH A REMOTE OPENING DEVICE THAT IS FITTED WITHIN THIS HEIGHT RANGE.)

BOILER TIMER CONTROLS & THERMOSTATS SHOULD BE EITHER: MOUNTED BETWEEN 900MM AND 1200MM ABOVE FINISHED FLOOR LEVEL ON THE BOILER, or HAVE SEPARATE CONTROLLERS (WIRED or WIRELESS) MOUNTED ELSEWHERE IN AN ACCESSIBLE LOCATION WITHIN THE SAME HEIGHT RANGE

ALL WALLS, DUCTS AND BOXINGS TO THE WC/CLOAKROOM, BATHROOM AND SHOWER ROOM SHOULD BE STRONG ENOUGH TO SUPPORT GRAB RAILS, SEATS AND OTHER ADAPTATIONS THAT COULD IMPOSE A LOAD OF UP TO 1.5kN/m²

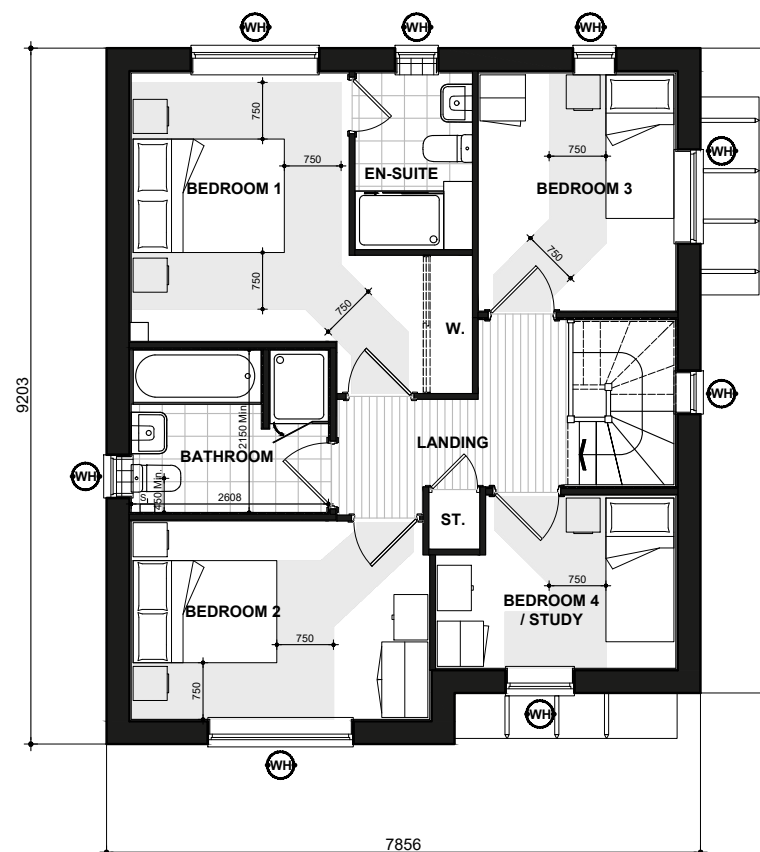
ACCESSIBLE BATHROOM WITH WC/BASIN/BATH ON THE SAME FLOOR AS THE PRINCIPLE DOUBLE BEDROOM.

BED REFERENCES: KSB - KING SIZE BED 1500 X 2000 DB - DOUBLE BED 1900 X 1350 SB - SINGLE BED 900 X 1900

DOUBLE BEDROOM (PRINCIPLE) TO HAVE 750mm CLEAR ACCESS ZONE TO BOTH SIDES AND FOOT OF BED.

SINGLE OR TWIN BEDROOM TO HAVE 750mm CLEAR ACCESS ZONE TO ONE SIDE OF BED.

REFER TO DETAILS IS906.1 & IS906.2 FOR FURTHER INFORMATION.



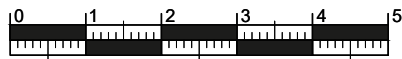
M401 FIRST FLOOR PLAN

WARWICK FLOOR PLANS M401.PL-05

DATE: JUN 2023 REV: SCALE: 1:100 @ A3

DRAWN: RW 121.81m² CHECKED: GPM 1311ft²





Scale 1:100



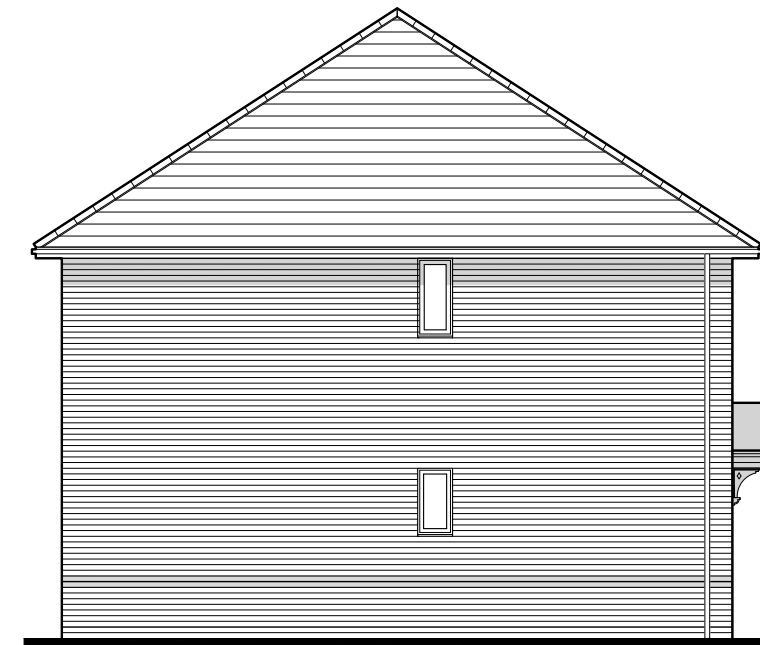
CLAM496
FRONT ELEVATION



CLAM496
SIDE ELEVATION



CLAM496
REAR ELEVATION



CLAM496
SIDE ELEVATION

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DOVER
CLA BRICK
M496.PL-01

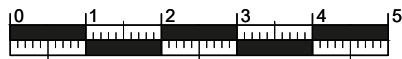
DATE: JUN 2023
SCALE: 1:100 @ A3

REV:

DRAWN: RW
CHECKED: GPM

152.26m²
1639ft²

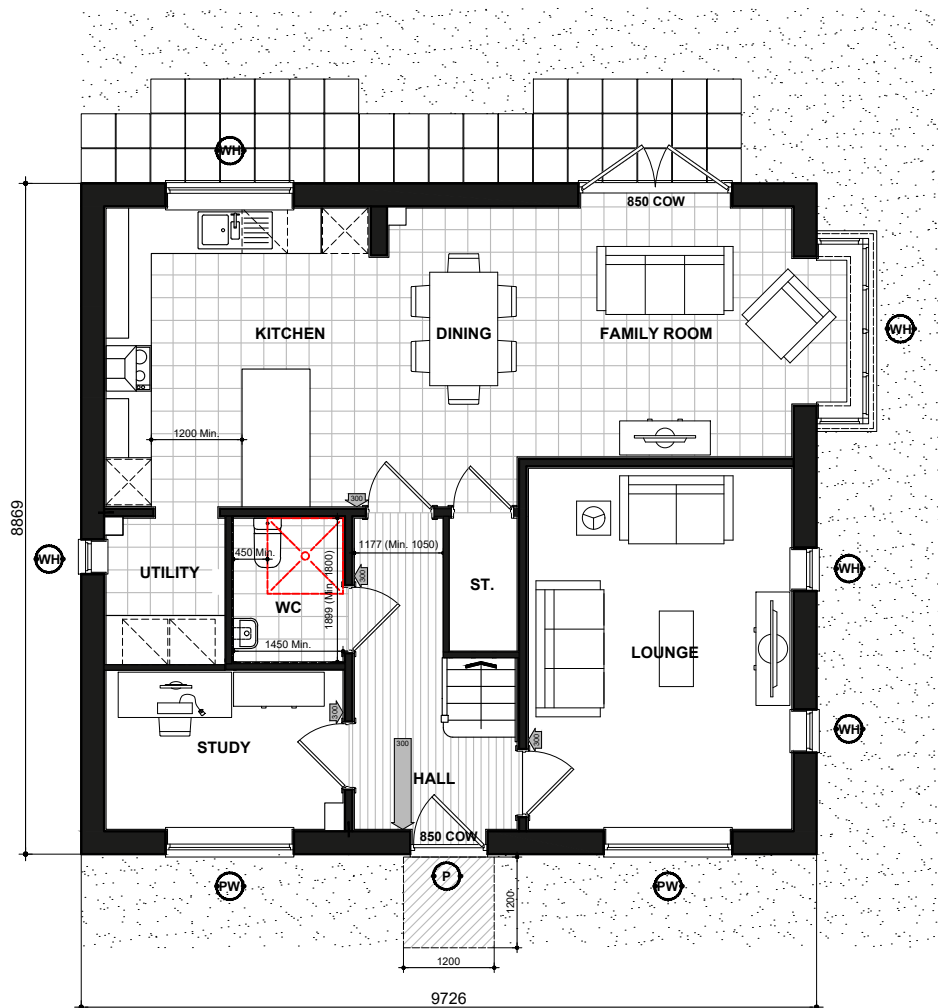




Scale 1:100



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M496 GROUND FLOOR PLAN

(P) (DENOTES: PRINCIPLE PRIVATE ENTRANCE NOMINATED AS STEP FREE ACCESS. ENTRANCE DOOR TO COMPLY WITH PROVISIONS A-1 OF PARAGRAPH 2.20 PART M4(2) PRIVATE ENTRANCES. WITH A LEVEL EXTERNAL LANDING MIN. WIDTH/DEPTH OF 1200MM. FULLY DIFFUSED AUTOMATED LIGHTING TO BE PROVIDED TO ENTRANCE.) DOOR REVEAL DEPTH MAX 200MM TO DOOR FACE WHEN CLOSED.

(850 COW) DENOTES: ENTRANCE DOORS TO HAVE 850mm CLEAR OPENING WIDTH. IN ACCORDANCE WITH PART M4 (2) DIAGRAM 2.2.

(750 COW) DENOTES: DOUBLE DOORS NOT CLASSED AS PRINCIPLE OR ALTERNATIVE ENTRANCE TO HAVE ONE OR BOTH LEAVES WITH 750MM CLEAR OPENING WIDTH OR BE ABLE TO BE OPERATED WITH SINGLE ACTION REASONABLY ACCESSIBLE TO WHEELCHAIR USER.

(NOTE) PLEASE REFER TO SITE LAYOUT FOR AN ALTERNATIVE PRIVATE ENTRANCE WHERE A STEP FREE ACCESS CANNOT BE ACHIEVED TO THE PRINCIPLE PRIVATE ENTRANCE.

(LEVEL EXTERNAL LANDING) IS COVERED BY PORCH, MIN. WIDTH OF 900mm AND DEPTH OF 600mm FULLY DIFFUSED AUTOMATED LIGHTING TO BE PROVIDED TO ENTRANCE

(300) DENOTES: 300mm NIB IS PROVIDED TO THE LEADING EDGE OF ALL DOORS ON THE ENTRANCE STOREY.

(300) DENOTES: PRINCIPLE PRIVATE ENTRANCE A 300mm NIB IS PROVIDED TO THE LEADING EDGE AND THE EXTRA WIDTH MAINTAINED 1200mm BEYOND IT.

(1200) 1200mm MIN. CLEAR SPACE IN FRONT OF AND BETWEEN ALL KITCHEN UNITS & APPLIANCES.

(PW) (DENOTES: PRINCIPLE LIVING SPACE. GLAZED DOOR OR WINDOW CILL TO START MAX. 850MM AFFL. HANDLE OF 1NO. MIN. WINDOW IN PRINCIPLE LIVING AREA BETWEEN 450MM - 1200MM AFFL. UNLESS FITTED WITH REMOTE OPENING DEVICE WITHIN THIS HEIGHT RANGE.)

(WH) (DENOTES: ALL OTHER WINDOWS TO HAVE HANDLES LOCATED BETWEEN 450MM-1400MM AFFL. UNLESS FITTED WITH A REMOTE OPENING DEVICE THAT IS FITTED WITHIN THIS HEIGHT RANGE.)

(BOILER) BOILER TIMER CONTROLS & THERMOSTATS SHOULD BE EITHER: MOUNTED BETWEEN 900MM AND 1200MM ABOVE FINISHED FLOOR LEVEL ON THE BOILER, or HAVE SEPARATE CONTROLLERS (WIRED or WIRELESS) MOUNTED ELSEWHERE IN AN ACCESSIBLE LOCATION WITHIN THE SAME HEIGHT RANGE

(WALLS) ALL WALLS, DUCTS AND BOXINGS TO THE W/CLOAKROOM, BATHROOM AND SHOWER ROOM SHOULD BE STRONG ENOUGH TO SUPPORT GRAB RAILS, SEATS AND OTHER ADAPTATIONS THAT COULD IMPOSE A LOAD OF UP TO 1.5kN/m²

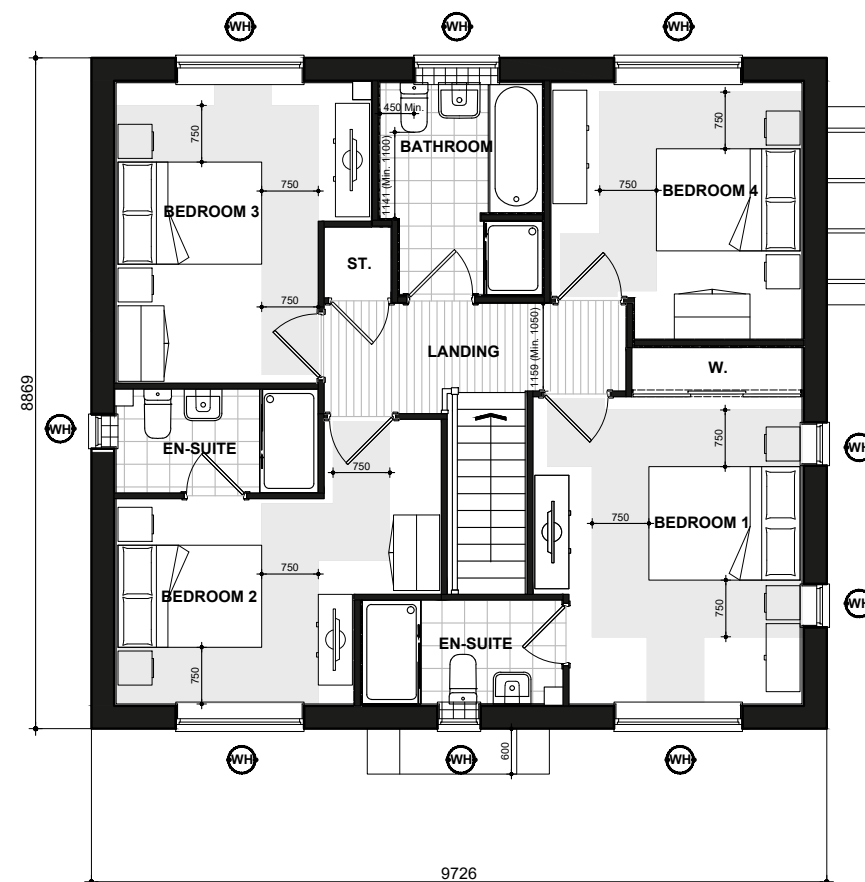
(ACCESSIBLE BATHROOM) ACCESSIBLE BATHROOM WITH WC/BASIN/BATH ON THE SAME FLOOR AS THE PRINCIPLE DOUBLE BEDROOM.

(BED REFERENCES) KSB - KING SIZE BED 1500 X 2000 DB - DOUBLE BED 1900 X 1350 SB - SINGLE BED 900 X 1900

(DOUBLE BEDROOM) DOUBLE BEDROOM (PRINCIPLE) TO HAVE 750mm CLEAR ACCESS ZONE TO BOTH SIDES AND FOOT OF BED.

(SINGLE BEDROOM) SINGLE OR TWIN BEDROOM TO HAVE 750mm CLEAR ACCESS ZONE TO ONE SIDE OF BED.

(DETAILS) REFER TO DETAILS IS906.1 & IS906.2 FOR FURTHER INFORMATION.



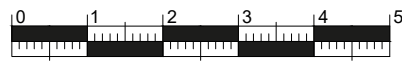
M496 FIRST FLOOR PLAN

DOVER FLOOR PLANS M496.PL-04

DATE: JUN 2023 REV: SCALE: 1:100 @ A3

DRAWN: RW 152.26m² CHECKED: GPM 1639ft²





Scale 1:100



CLAM2B4P FRONT ELEVATION

CLAM2B4P-1



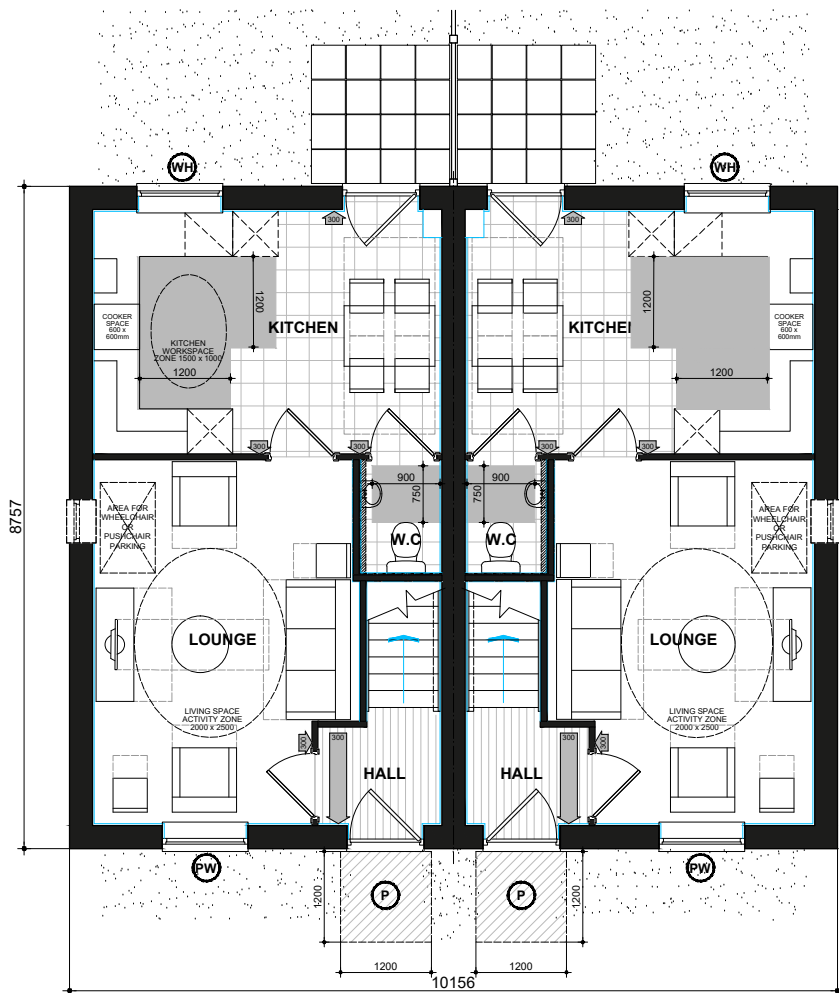
CLAM2B4P-1 SIDE ELEVATION



CLAM2B4P-1 REAR ELEVATION

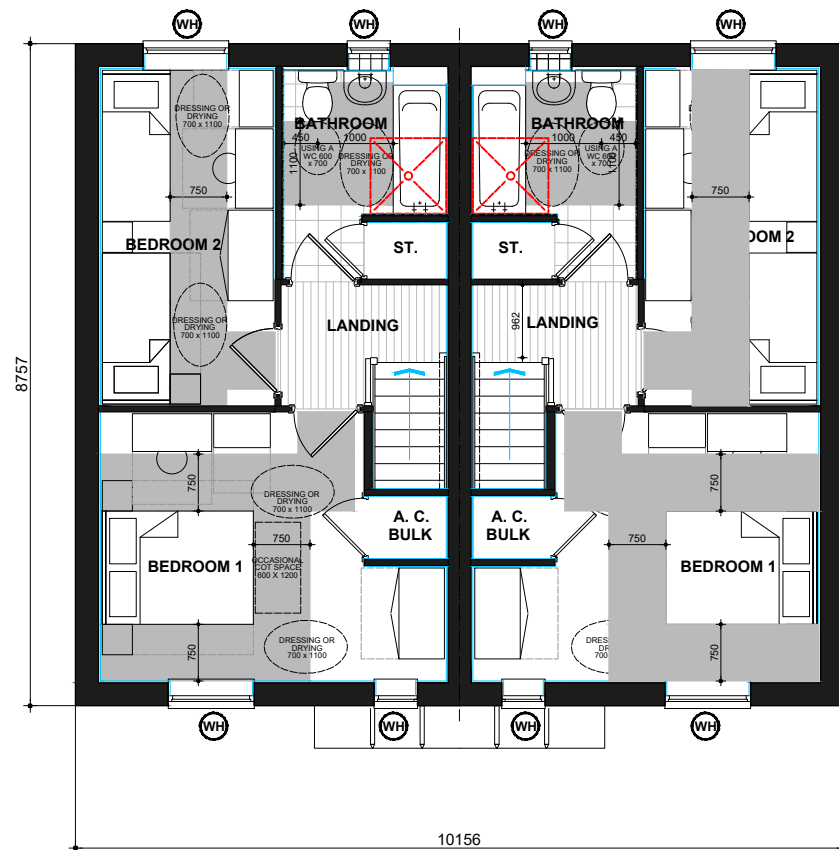
CLAM2B4P

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M2B4P GROUND FLOOR PLAN

M2B4P-1



M2B4P FIRST FLOOR PLAN

M2B4P-1

P (DENOTES : PRINCIPLE PRIVATE ENTRANCE NOMINATED AS STEP FREE ACCESS. ENTRANCE DOOR TO COMPLY WITH PROVISIONS A - 1 OF PARAGRAPH 2.20 PART M4(2) PRIVATE ENTRANCES. WITH A LEVEL EXTERNAL LANDING MIN. WIDTH/DEPTH OF 1200MM. FULLY DIFFUSED AUTOMATED LIGHTING TO BE PROVIDED TO ENTRANCE.) DOOR REVEAL DEPTH MAX 200MM TO DOOR FACE WHEN CLOSED.

850 COW (DENOTES : ENTRANCE DOORS TO HAVE 850mm CLEAR OPENING WIDTH. IN ACCORDANCE WITH PART M4 (2) DIAGRAM 2.2.

750 COW (DOUBLE DOORS NOT CLASSED AS PRINCIPLE OR ALTERNATIVE ENTRANCE TO HAVE ONE OR BOTH LEAVES WITH 750MM CLEAR OPENING WIDTH OR BE ABLE TO BE OPERATED WITH SINGLE ACTION REASONABLY ACCESSIBLE TO WHEELCHAIR USER.

NOTE : PLEASE REFER TO SITE LAYOUT FOR AN ALTERNATIVE PRIVATE ENTRANCE WHERE A STEP FREE ACCESS CANNOT BE ACHIEVED TO THE PRINCIPLE PRIVATE ENTRANCE.

LEVEL EXTERNAL LANDING IS COVERED BY PORCH. MIN. WIDTH OF 900mm AND DEPTH OF 600mm FULLY DIFFUSED AUTOMATED LIGHTING TO BE PROVIDED TO ENTRANCE

300 (DENOTES : 300mm NIB IS PROVIDED TO THE LEADING EDGE OF ALL DOORS ON THE ENTRANCE STOREY.

(DENOTES : PRINCIPLE PRIVATE ENTRANCE A 300mm NIB IS PROVIDED TO THE LEADING EDGE AND THE EXTRA WIDTH MAINTAINED 1200mm BEYOND IT.

1200mm MIN. CLEAR SPACE IN FRONT OF AND BETWEEN ALL KITCHEN UNITS & APPLIANCES.

PW (DENOTES : PRINCIPLE LIVING SPACE, GLAZED DOOR OR WINDOW CILL TO START MAX. 850MM AFFL. HANDLE OF 1NO. MIN. WINDOW IN PRINCIPLE LIVING AREA BETWEEN 450MM - 1200MM AFFL. UNLESS FITTED WITH REMOTE OPENING DEVICE WITHIN THIS HEIGHT RANGE.)

WH (DENOTES : ALL OTHER WINDOWS TO HAVE HANDLES LOCATED BETWEEN 450MM-1400MM AFFL. UNLESS FITTED WITH A REMOTE OPENING DEVICE THAT IS FITTED WITHIN THIS HEIGHT RANGE.)

BOILER TIMER CONTROLS & THERMOSTATS SHOULD BE EITHER:
 • MOUNTED BETWEEN 900MM AND 1200MM ABOVE FINISHED FLOOR LEVEL ON THE BOILER, or
 • HAVE SEPARATE CONTROLLERS (WIRED or WIRELESS) MOUNTED ELSEWHERE IN AN ACCESSIBLE LOCATION WITHIN THE SAME HEIGHT RANGE

ALL WALLS, DUCTS AND BOXINGS TO THE WC/CLOAKROOM, BATHROOM AND SHOWER ROOM SHOULD BE STRONG ENOUGH TO SUPPORT GRAB RAILS, SEATS AND OTHER ADAPTATIONS THAT COULD IMPOSE A LOAD OF UP TO 1.5kN/m²

ACCESSIBLE BATHROOM WITH WC/BASIN/BATH ON THE SAME FLOOR AS THE PRINCIPLE DOUBLE BEDROOM.

BED REFERENCES:
 KSB - KING SIZE BED 1500 X 2000
 DB - DOUBLE BED 1900 X 1350
 SB - SINGLE BED 900 X 1900

DOUBLE BEDROOM (PRINCIPLE) TO HAVE 750mm CLEAR ACCESS ZONE TO BOTH SIDES AND FOOT OF BED.

SINGLE OR TWIN BEDROOM TO HAVE 750mm CLEAR ACCESS ZONE TO ONE SIDE OF BED.

REFER TO DETAILS IS906.1 & IS906.2 FOR FURTHER INFORMATION.

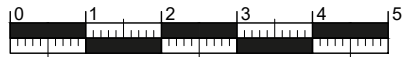
Sedley
 CLA BRICK
 M2B4P.PL-01

DATE: JUN 2023 REV:

SCALE: 1:100 @ A3

DRAWN: JC 74.14 m²
 CHECKED: GPM 798 ft²

BLOOR HOMES

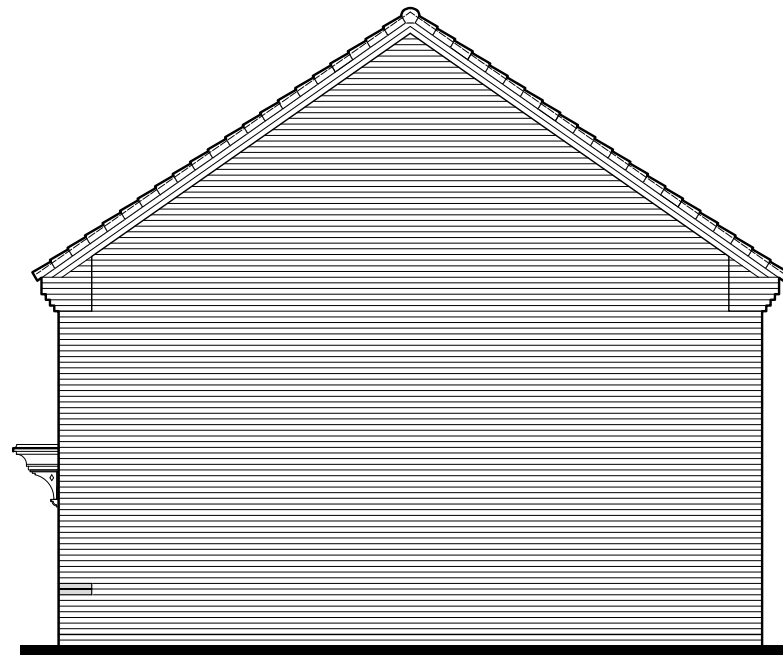


Scale 1:100



CLAM3B5P
FRONT ELEVATION

CLAM3B5P-1

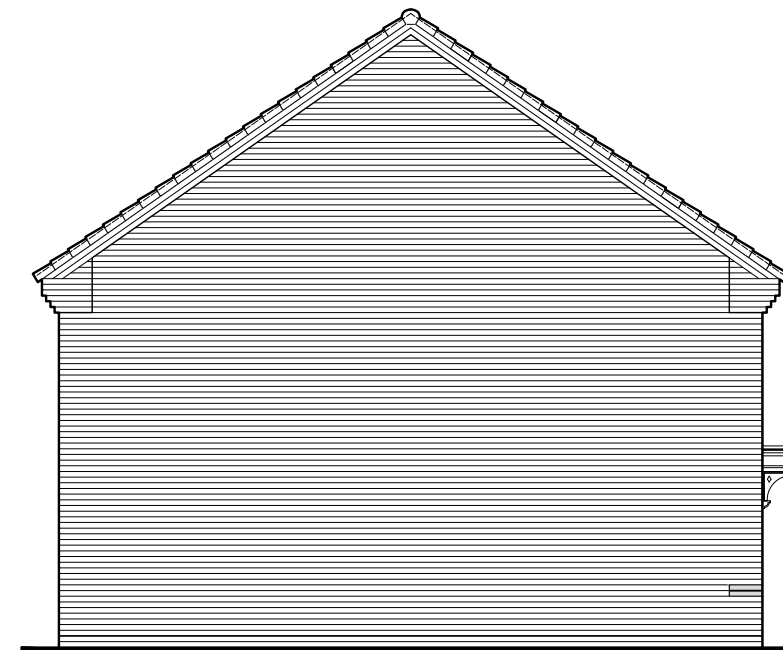


CLAM3B5P-1
SIDE ELEVATION



CLAM3B5P-1
REAR ELEVATION

CLAM3B5P



CLAM3B5P
SIDE ELEVATION

Page 225 of 362

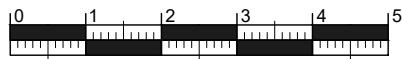
SOUTHEY
CLA BRICK
M3B5P.PL-01

DATE: JUN 2023 REV:
SCALE: 1:100 @ A3

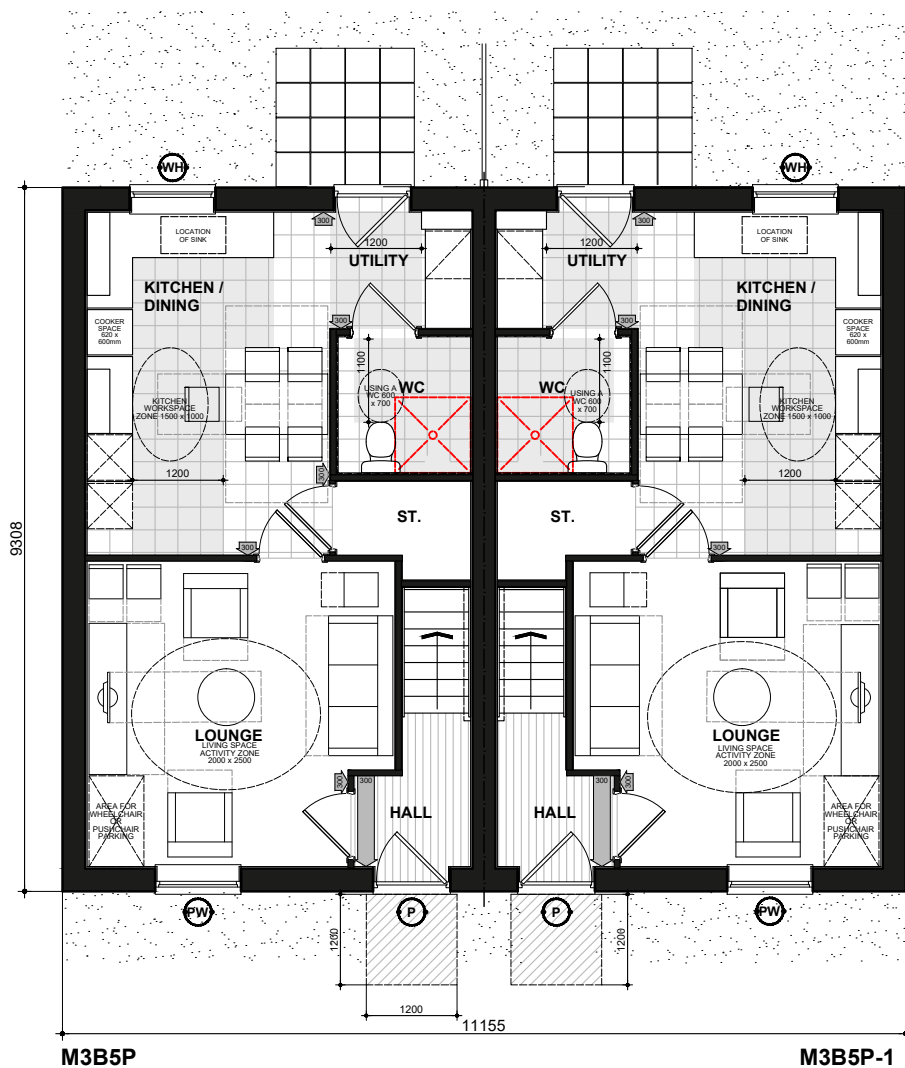
DRAWN: JC 87.82 m²
CHECKED: GPM 945 ft²

M3B5P - HQI Unit Type: 75-85sqm.





Scale 1:100



M3B5P GROUND FLOOR PLAN

M3B5P-1

P (DENOTES: PRINCIPLE PRIVATE ENTRANCE NOMINATED AS STEP FREE ACCESS. ENTRANCE DOOR TO COMPLY WITH PROVISIONS A - I OF PARAGRAPH 2.20 PART M4(2) PRIVATE ENTRANCES. WITH A LEVEL EXTERNAL LANDING MIN. WIDTH/DEPTH OF 1200MM. FULLY DIFFUSED AUTOMATED LIGHTING TO BE PROVIDED TO ENTRANCE.) DOOR REVEAL DEPTH MAX 200MM TO DOOR FACE WHEN CLOSED.

850 COW DENOTES: ENTRANCE DOORS TO HAVE 850mm CLEAR OPENING WIDTH. IN ACCORDANCE WITH PART M4 (2) DIAGRAM 2.2.

750 COW DOUBLE DOORS NOT CLASSED AS PRINCIPLE OR ALTERNATIVE ENTRANCE TO HAVE ONE OR BOTH LEAVES WITH 750MM CLEAR OPENING WIDTH OR BE ABLE TO BE OPERATED WITH SINGLE ACTION REASONABLY ACCESSIBLE TO WHEELCHAIR USER.

NOTE: PLEASE REFER TO SITE LAYOUT FOR AN ALTERNATIVE PRIVATE ENTRANCE WHERE A STEP FREE ACCESS CANNOT BE ACHIEVED TO THE PRINCIPLE PRIVATE ENTRANCE.

LEVEL EXTERNAL LANDING IS COVERED BY PORCH. MIN. WIDTH OF 900mm AND DEPTH OF 600mm FULLY DIFFUSED AUTOMATED LIGHTING TO BE PROVIDED TO ENTRANCE

1200 DENOTES: 300mm NIB IS PROVIDED TO THE LEADING EDGE OF ALL DOORS ON THE ENTRANCE STOREY.

300 DENOTES: PRINCIPLE PRIVATE ENTRANCE A 300mm NIB IS PROVIDED TO THE LEADING EDGE AND THE EXTRA WIDTH MAINTAINED 1200mm BEYOND IT. 1200mm MIN. CLEAR SPACE IN FRONT OF AND BETWEEN ALL KITCHEN UNITS & APPLIANCES.

PW (DENOTES: PRINCIPLE LIVING SPACE, GLAZED DOOR OR WINDOW CILL TO START MAX. 850MM AFFL. HANDLE OF 1NO. MIN. WINDOW IN PRINCIPLE LIVING AREA BETWEEN 450MM - 1200MM AFFL. UNLESS FITTED WITH REMOTE OPENING DEVICE WITHIN THIS HEIGHT RANGE.)

WH (DENOTES: ALL OTHER WINDOWS TO HAVE HANDLES LOCATED BETWEEN 450MM-1400MM AFFL. UNLESS FITTED WITH A REMOTE OPENING DEVICE THAT IS FITTED WITHIN THIS HEIGHT RANGE.)

BOILER TIMER CONTROLS & THERMOSTATS SHOULD BE EITHER:
• MOUNTED BETWEEN 900MM AND 1200MM ABOVE FINISHED FLOOR LEVEL ON THE BOILER, or
• HAVE SEPARATE CONTROLLERS (WIRED or WIRELESS) MOUNTED ELSEWHERE IN AN ACCESSIBLE LOCATION WITHIN THE SAME HEIGHT RANGE

ALL WALLS, DUCTS AND BOXINGS TO THE WC/CLOAKROOM, BATHROOM AND SHOWER ROOM SHOULD BE STRONG ENOUGH TO SUPPORT GRAB RAILS, SEATS AND OTHER ADAPTATIONS THAT COULD IMPOSE A LOAD OF UP TO 1.5kN/m²

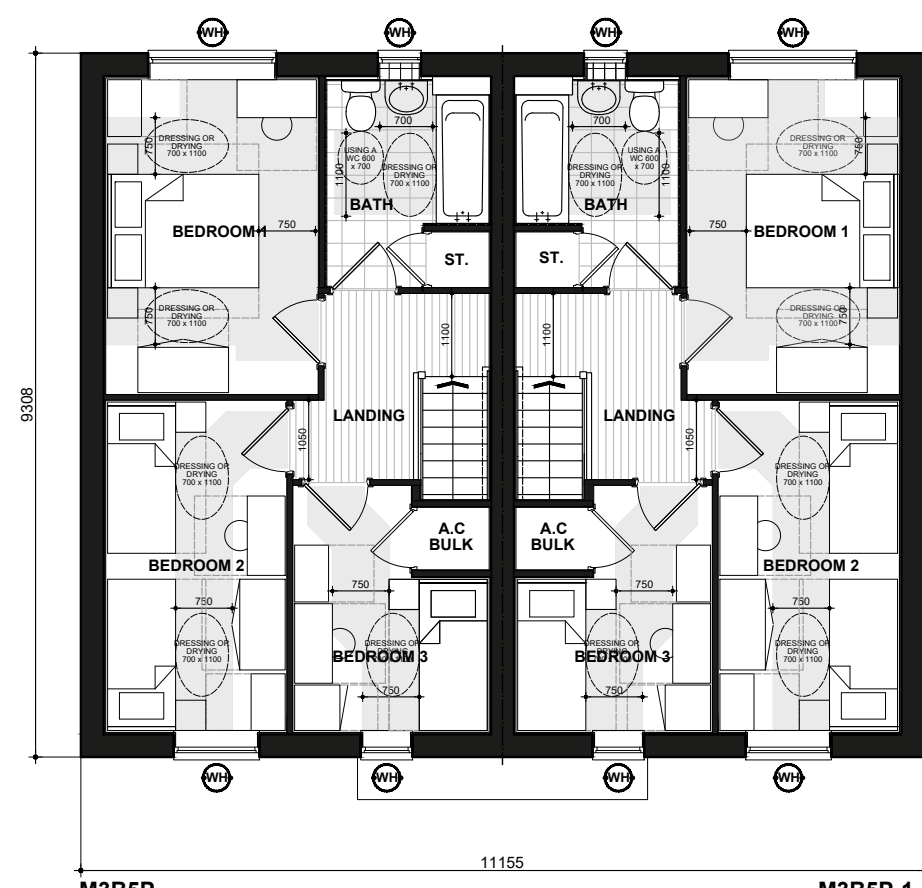
ACCESSIBLE BATHROOM WITH WC/BASIN/BATH ON THE SAME FLOOR AS THE PRINCIPLE DOUBLE BEDROOM.

BED REFERENCES:
KSB - KING SIZE BED 1500 X 2000
DB - DOUBLE BED 1900 X 1350
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DOUBLE BEDROOM (PRINCIPLE) TO HAVE 750mm CLEAR ACCESS ZONE TO BOTH SIDES AND FOOT OF BED.

SINGLE OR TWIN BEDROOM TO HAVE 750mm CLEAR ACCESS ZONE TO ONE SIDE OF BED.

REFER TO DETAILS [IS906.1](#) & [IS906.2](#) FOR FURTHER INFORMATION.



M3B5P FIRST FLOOR PLAN

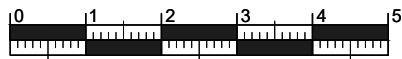
M3B5P-1

SOUTHEY
FLOOR PLANS
M3B5P.PL-03

DATE: JUN 2023 REV:
SCALE: 1:100 @ A3

DRAWN: JC 87.72 m²
CHECKED: GPM 945 ft²





Scale 1:100

*HQI scores are based on minimum requirements:-
Unit Size - 41, Unit Layout - 32, Unit Services - 22

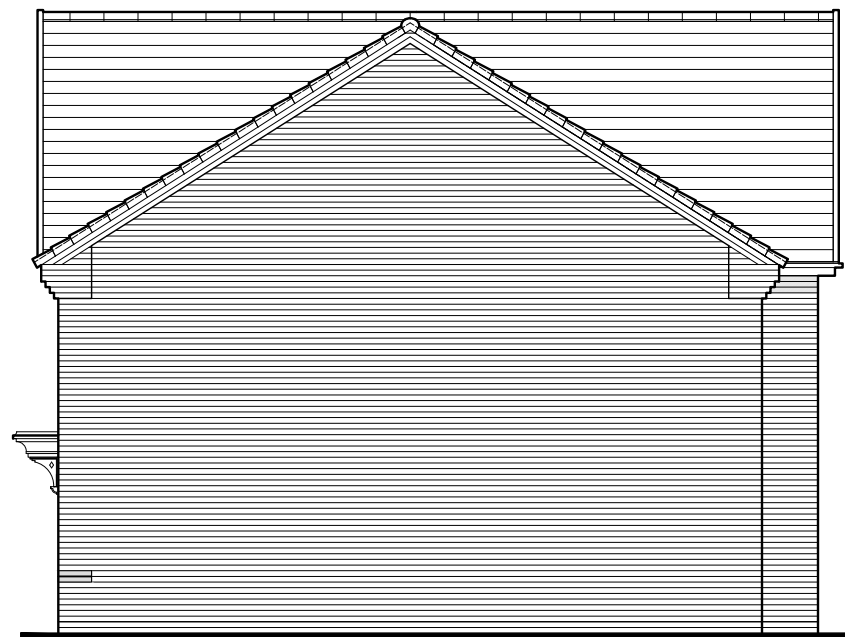


CLAM3B5PCT
FRONT ELEVATION



CLAM3B5PCT
FRONT ELEVATION

CLAM3B5P-1



CLAM3B5P-1
SIDE ELEVATION



CLAM3B5P-1
REAR ELEVATION

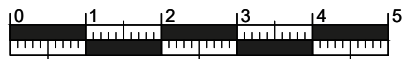
CLAM3B5PCT

**SKOUL
SOUTHEY**
CLA BRICK
M868.PL-01

DATE: JUN 2023 REV:
SCALE: 1:100 @ A3

DRAWN: RW 93.00m² / 1001ft²
CHECKED: GPM 87.82m² / 945ft²



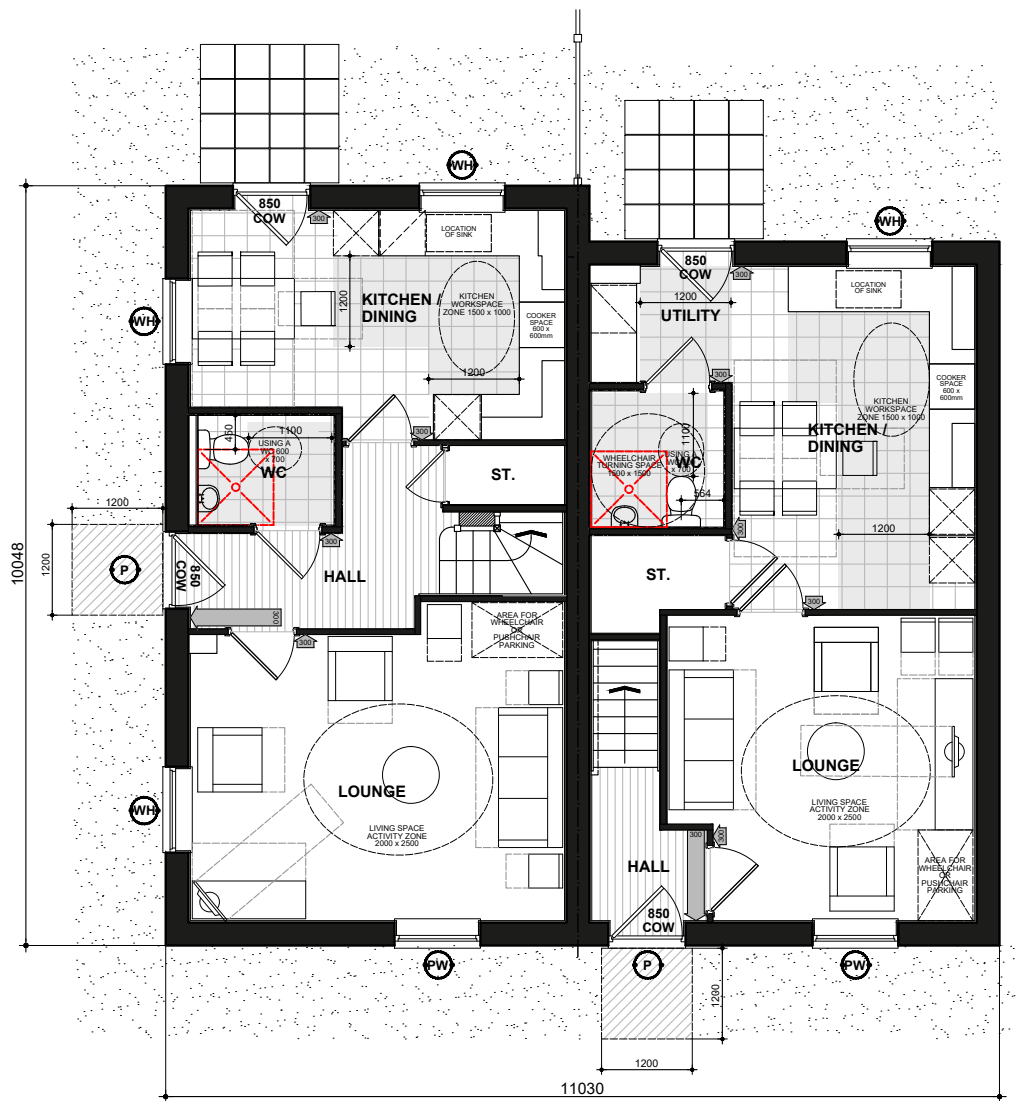


Scale 1:100

*HQI scores are based on minimum requirements:-
Unit Size - 41, Unit Layout - 32, Unit Services - 22

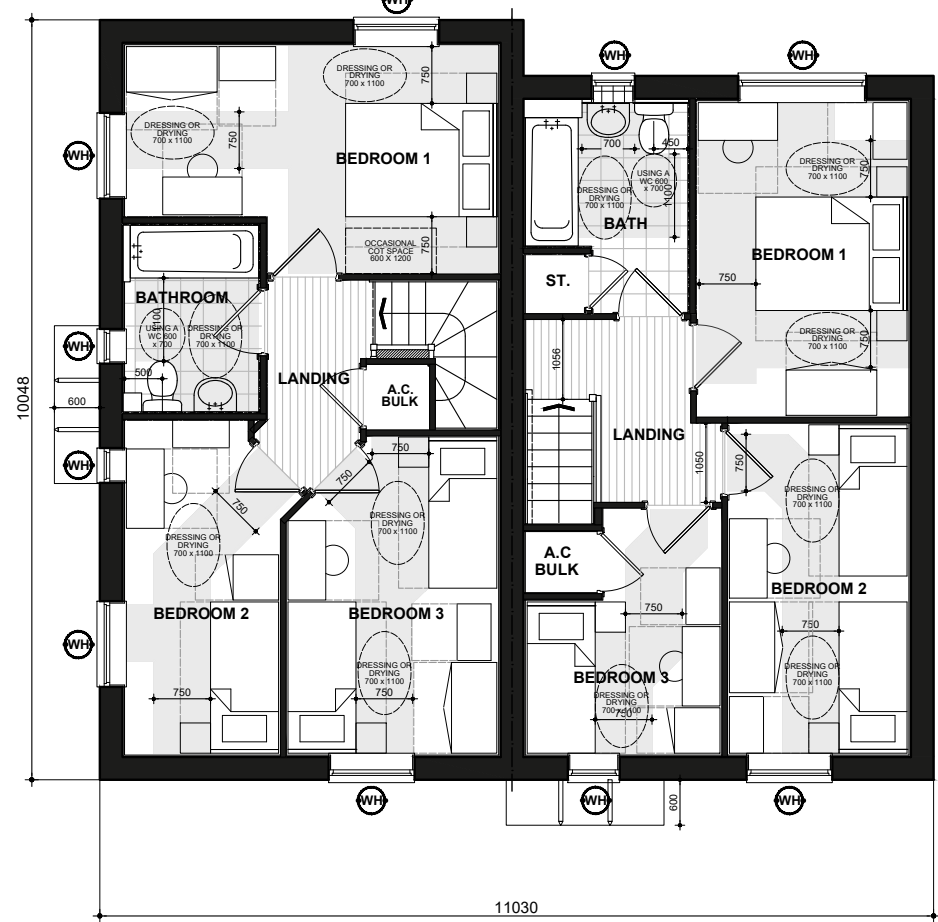


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M3B5PCT GROUND FLOOR PLAN

M3B5P-1



M3B5PCT FIRST FLOOR PLAN

M3B5P-1

- (P)** (DENOTES : PRINCIPLE PRIVATE ENTRANCE NOMINATED AS STEP FREE ACCESS. ENTRANCE DOOR TO COMPLY WITH PROVISIONS A - 1 OF PARAGRAPH 2.20 PART M4(2) PRIVATE ENTRANCES. WITH A LEVEL EXTERNAL LANDING MIN. WIDTH/DEPTH OF 1200MM. FULLY DIFFUSED AUTOMATED LIGHTING TO BE PROVIDED TO ENTRANCE.) DOOR REVEAL DEPTH MAX 200MM TO DOOR FACE WHEN CLOSED.
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NOTE : PLEASE REFER TO SITE LAYOUT FOR AN ALTERNATIVE PRIVATE ENTRANCE WHERE A STEP FREE ACCESS CANNOT BE ACHIEVED TO THE PRINCIPLE PRIVATE ENTRANCE.
- LEVEL EXTERNAL LANDING IS COVERED BY PORCH. MIN. WIDTH OF 900mm AND DEPTH OF 600mm FULLY DIFFUSED AUTOMATED LIGHTING TO BE PROVIDED TO ENTRANCE
- (1000)** DENOTES : 300mm NIB IS PROVIDED TO THE LEADING EDGE OF ALL DOORS ON THE ENTRANCE STOREY.
- (1200)** DENOTES : PRINCIPLE PRIVATE ENTRANCE A 300mm NIB IS PROVIDED TO THE LEADING EDGE AND THE EXTRA WIDTH MAINTAINED 1200mm BEYOND IT. 1200mm MIN. CLEAR SPACE IN FRONT OF AND BETWEEN ALL KITCHEN UNITS & APPLIANCES.
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- (WH)** (DENOTES : ALL OTHER WINDOWS TO HAVE HANDLES LOCATED BETWEEN 450MM-1400MM AFFL. UNLESS FITTED WITH A REMOTE OPENING DEVICE THAT IS FITTED WITHIN THIS HEIGHT RANGE.)
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- REFER TO DETAILS [IS906.1](#) & [IS906.2](#) FOR FURTHER INFORMATION.

SKOUL SOUTHEY FLOOR PLANS

M868.PL-08

DATE: JUN 2023 REV:
SCALE: 1:100 @ A3

DRAWN: RW 93.00m² / 1001ft²
CHECKED: GPM 87.82m² / 945ft²



M3B5P HQI* Unit Type: 75-85sqm. HQI 5: 41% HQI 6: 56% HQI 7: 59%

DEVELOPMENT MANAGEMENT COMMITTEE 18th MARCH 2024

Case No: 23/01948/FUL

Proposal: Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL)

Location: Land East Of Ivy Way, Spaldwick

Applicant: Blenheim Land And Homes Ltd

Grid Ref: 513245 272619

Date of Registration: 23.10.2023

Parish: Spaldwick

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC) in accordance with the Scheme of Delegation as the Parish Council's recommendation of refusal is contrary to the officer recommendation of approval.

1. DESCRIPTION OF SITE AND APPLICATION

Site and surrounding area

- 1.1 The site lies east of the main built-up area of Spaldwick and as defined in the Huntingdonshire Local Plan to 2036 (2019), is located within the open countryside.
- 1.2 The site is broadly rectangular in shape and covers an area of approximately 0.81 hectares, comprising of an open agricultural field with a public right of way (footpath 12) running north-south at an angle through the site.
- 1.3 The site is bordered by trees on its western side with a drain and ditch running north to south and the rear of residential dwellings beyond on Ivy Way.
- 1.4 To the south lies open agricultural land. The east the site is bound by a drain and ditch running north to south with open countryside beyond.
- 1.5 The site fronts Spaldwick High Street to the north, and features an existing access to the north-west, with trees and hedging

leading eastwards with a drain and ditch running east-west which is interrupted by the site access.

- 1.6 On the opposite side of the site is a pumping station, a cul-de-sac with 5 dwellings and a service station.
- 1.7 Access to the site is from High Street to the north. This access sits approximately 136 metres from the junction where the High Street meets Thrapston Road and both slip roads serving exits and entrances to and from the A14. The access is approximately 56m from the entrance to the service station and approximately 27m from the cul-de-sac entrance to the north.
- 1.8 The field that comprises the site and the open land to the south and east are classified as Grade 3 agricultural land.
- 1.9 The site abuts the Spaldwick Conservation area on its northern western side and there are no listed buildings or other designated heritage assets within close vicinity of the site (Grade II Listed Building Ivy House is approximately 120 metres west from the application site and 123m from 38 High Street to the east).
- 1.10 The site lies within Flood Zone 1 on the Environment Agency Maps for Flooding and on the Council's Strategic Flood Risk Assessment maps but is at a low to medium risk of surface and groundwater flooding and is shown in the SFRA to be susceptible to flooding during 1 in 1000- year flood events.

Proposal

- 1.11 Planning permission is sought for the Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL).
- 1.12 All dwellings proposed will be affordable homes, predominantly First Homes supported with a mix of other affordable tenures (Shared Ownership and Affordable Rent).
- 1.13 Submitted plans show the proposed 15 dwellings to be comprised of 1 x 1-bedroom dwelling, 10 x 2-bedroom dwelling and 4 x 3-bedroom dwellings.
- 1.14 Of these, 7 would be First Homes, 3 would be Shared Ownership and 5 would be Affordable Rent. All dwellings meet the Nationally Described Space Standards. The layout includes 10 x two-story semi-detached dwellings and 5 x detached dwellings (3 of those detached are bungalows).
- 1.15 The existing access to the site from High Street is moving slightly to the east to accommodate the required visibility splays. A 2m-wide footway is proposed on both sides into the site with the

west side connecting to the existing Ivy Way footpath and the east side providing a dropped kerb to enable access to the opposite side of the road.

- 1.16 The layout of the site is defined by a perimeter road with the proposed dwellings fronting this perimeter road with their gardens facing towards the centre of the site. The road into the site would be constructed of tarmac, leading into a shared surface for the remainder of the loop for the perimeter block. The scheme includes 2 on-plot parking spaces to each dwelling. In addition, 4 visitor parking bays are located within the proposed site. Each dwelling also includes on-plot space for secure cycle storage and bin storage.
- 1.17 The north, east and southern boundaries have a green buffer zone and the eastern and northern sides features a drain. The western boundary also has a green buffer zone but is also defined by a drainage exclusion zone. The proposal includes a diversion of the northern entrance of the public footpath which runs north-south through the site, which is currently under review by Cambridgeshire County Council as an application to divert the public right of way has now been submitted. This diversion would run north-south through a proposed landscape walk on the west of the site. Some visitor parking spaces are proposed on the outside of the perimeter road on the north and south boundaries.
- 1.18 The proposed dwellings would have pitched roofs with a maximum ridge height of 8.47m for the two storey dwellings and 5.57 metres maximum metres for the bungalows. All dwellings would be constructed of a mix of brick, painted brick and render with concrete tiles.

Background

- 1.19 In 2020, pre-application advice was sought for residential development on the site but included land further to the south for the provision of 38 dwellings, which was deemed largely acceptable as a Rural Exceptions scheme (HDC Local Plan Policy LP28) subject to details including drainage details and a Local Housing Needs Survey (HNS). At the time of advice, this HNS had not been produced (the Spaldwick HNS was produced in 2021).
- 1.20 In 2022, an application was received by the Local Planning Authority for Construction of 20 no. First Homes dwellings with associated access, car parking and landscaping. This application comprised a mixture of 10 two bedroomed houses and 10 three bedroomed houses which was subsequently withdrawn due to objections from the Council's Policy and Enabling Officer and Planning Policy Officer on the basis that the proposal was contrary to national First Homes criteria, the HDC's Housing Needs of Specific Groups document (2021) and the Housing

Need Survey Report for Spaldwick. There were also concerns raised by Huntingdonshire District Council Urban Design team, Cambridgeshire County Highways Officer and Public Rights of Way Officer.

- 1.21 Subsequently, a further application was submitted in 2023 for 15 dwellings and was refused due to insufficient highways information, inadequate surface water drainage details and failed to demonstrate enhancement of the existing Public Footpath No.12 Spaldwick and fails to separate the public footpath from streets, contrary to Cambridgeshire Rights of Way Improvement Plan (2016).
- 1.22 This current proposal is considered to address concerns raised in previous applications adequately so that the proposal is acceptable, subject to conditions and a Section 106 legal agreement.
- 1.23 Design amendments have been introduced, including a reduction of the number of affordable dwellings from 20 to 15; an amendment to a perimeter block; an increase of planting; the addition of a landscape walk into the green buffer zone to the east of the site; Creation of corner plots to be visually interesting; inclusion of a shared surface to part of the road; an inclusion of a mix of affordable tenures rather than a solely First Homes site (Shared Ownership and Affordable Tenure) and the introduction of bungalows (3 of the 15 units).
- 1.24 This current application also confirms that it is seeking to divert the Public Right of Way (footpath 12), which was originally objected to by Cambridgeshire Definitive maps Team which can now be resolved by condition.
- 1.25 Furthermore, the applicant has submitted the required and relevant flood risk and drainage information sought by the relevant technical consultees which has been deemed acceptable subject to conditions.
- 1.26 Additionally, the Cambridgeshire County Highways officer has removed their objection and now support the proposals subject to a Section 106 contribution and planning conditions.
- 1.27 Over the course of the application, additional highways and drainage information was submitted and accepted by the Local Planning Authority and formal consultation was carried out with both the Lead Local Flood Authority and Cambridgeshire County Highways team.
- 1.28 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (19th December 2023) (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'
- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- Policy LP1 - Amount of Development
 - Policy LP2 - Strategy for Development
 - Policy LP3 – Green Infrastructure
 - Policy LP4 - Contributing to Infrastructure Delivery
 - Policy LP5 - Flood Risk
 - Policy LP6 - Waste Water Management
 - Policy LP9 – Small Settlements
 - Policy LP10 – The Countryside
 - Policy LP11 - Design Context
 - Policy LP12 - Design Implementation
 - Policy LP14 - Amenity
 - Policy LP15 - Surface Water
 - Policy LP16 - Sustainable Travel
 - Policy LP17 - Parking Provision and Vehicle Movement
 - Policy LP24 - Affordable Housing Provision
 - Policy LP25 - Housing Mix
 - Policy LP28 - Rural Exceptions Housing
 - Policy LP30 - Biodiversity and Geodiversity
 - Policy LP31 – Trees, Woodland, Hedges and Hedgerows
 - Policy LP34 - Heritage Assets and their settings
- 3.2 Supplementary Planning Documents (SPD) and Guidance:
- Huntingdonshire Design Guide Supplementary Planning Document 2017

- Developer Contributions SPD 2011
- Huntingdonshire Landscape and Townscape Assessment (2022)
- Huntingdonshire Strategic Flood Risk Assessment (2017)
- Cambridgeshire Flood and Water SPD 2017
- LDF Developer Contributions SPD (2011)
- Annual Monitoring Review regarding housing land supply (2021)
- Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)

3.3 The National Design Guide (2021)

- C1 - Understand and relate well to the site, its local and wider context
- I1 - Respond to existing local character and identity
- I2 - Well-designed, high quality and attractive
- B2 - Appropriate building types and forms
- M3 - Well-considered parking, servicing and utilities infrastructure for all users
- H1 - Healthy, comfortable and safe internal and external environment
- H2 - Well-related to external amenity and public spaces
- H3 - Attention to detail: storage, waste, servicing and utilities

For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

- 4.1 22/01167/FUL for Construction of 20 no. dwellings with associated access, car parking and landscaping, WDN dated 10.02.2023.
- 4.2 23/00649/FUL for Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 22/01167/FUL), REF dated 12.07.2023.

5. CONSULTATIONS

- 5.1 Spaldwick Parish Council – Recommends refusal of the application. Full comments:

Councillors believe the objections initially submitted by The Parish Council to the application still apply to the recent documents added on the planning portal, namely: flood risk of the area (recent flooding, impact from the Ellington Brook & the ineffective valve, nearby ditches not regularly cleared, the natural downhill slope of the site and it being at the lowest point in the village), insufficient surface water storage for the proposed site, the unsuitable nature of the proposed mesh surface (in relation to clay surface and for an unadopted road), increase in vehicular traffic and highway safety, and the fact that it is outside the village boundary so contradicts the HDC Local Plan.

5.2 National Highways – No objections. Summary comments:

We have undertaken a review of the relevant documents supporting the planning application to ensure compliance with the current policies of the Secretary of State as set out in DfT Circular 01/2022 “The Strategic Road Network and the delivery of Sustainable Development” and the National Planning Policy Framework (NPPF). This response represents our formal recommendations with regard to planning application 23/01948/FUL.

Due to the scale of the proposed development, it is considered unlikely to have a severe impact on the Strategic Road Network. Consequently, we offer no objection to this application.

5.3 Rights of Way Officer - Objects to the proposal in the event the public footpath is subsumed into the proposed pavement/private road with a new surface. Should the Public Right of Way be diverted, the Rights of Way Officer recommends a condition for a public right of way scheme and informatives relating to the ongoing provision of the Public Right of Way.

5.4 Cambridgeshire Fire – No objection but recommends that adequate provision be made for fire hydrants which may be by way of Section 106 agreement or planning condition.

5.5 Cambridgeshire Police – No objections. Notes that the proposed location is an area of medium risk to the vulnerability to crime and suggests the following is included within the scheme: External lighting, cycle parking / storage, private gates, landscaping and footpaths / public open spaces.

5.6 Historic England – No comment. Comments:

In this case we are not offering advice. This should not be interpreted as comment on the merits of the application. We suggest that you seek the views of your specialist conservation and archaeological advisers. You may also find it helpful to refer to our published advice at:

<https://historicengland.org.uk/advice/find/>

5.7 Cambridgeshire County Highways – No objection subject to conditions and informatives. Summary comments:

The application is for the construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 22/01167/FUL and 23/00649/FUL).

The proposal is for 5 fewer dwellings than the first application (22/01167/FUL) with the access moved slightly in a westerly direction. I would reiterate our previous comments as follows with

the additional comments regarding the footway and dropped kerbs:-

That proposed is for the development of 15 dwellings on the entrance to the village of Spaldwick. The vehicle movements associated with that proposed could not be considered as significant against the background flows and the flows from the A14 with peak time movements being circa 10 movements within the peak hours or 1 every 6 minutes. Therefore, capacity could not be considered an issue. I also note the following:

- The access is situated within the 30mph section of highway and 2.4m x 43m have been indicated, which meets with criteria. It should be noted that the actual splays available are greater than those indicated with 2.4m x 176m towards the A14 and circa 2.4m x 88m towards the village.
- The Transport Statement indicates a road width of 5m footway width of 2m and radii of minimum of 6m which accords with adopted criteria for a development of this size, although it is indicated that the site will remain private.
- An amended plan is submitted increasing the area of drain culverting to allow the connecting footways in each direction. The culverting of the ditch will require LLFA permission.
- Refuse tracking for the internal network has been provided, as the road is not proposed to be adopted the LPA should be satisfied that their operations team have no objections to that proposed. Access geometry to the public highway is similar to many existing developments and is therefore acceptable.

Whilst the access is indicated to have acceptable visibility for the site access it has been reported that HCV parking sometimes reaches the proposed site access, therefore blocking the available visibility.

Whilst I could not recommend refusal because of this possible issue (as it forms part of the adopted highway and is not a designated parking area) the applicant should be requested for a section 106 contribution to protect the required splays should this become an issue, post development. This would be achieved by the implementation of parking restrictions (double yellow lines) from the site access to opposite the access of the service station.

Following a careful review of the documents provided to the Highway Authority as part of the above planning application, the effect of the proposed development upon the Public Highway

should be mitigated if the following conditions are appended to any consent given in the interest of highway safety:

- Proposed arrangements for future management and maintenance of the proposed streets within the development have been submitted to and approved in writing by the Local Planning Authority. (Pre-commencement condition).
- Vehicular access width.
- That the access where it crosses the public highway shall be laid out and constructed in accordance with the Cambridgeshire County Council construction specification.
- That the crossing of the ditch / watercourse along the frontage of the site shall be constructed in accordance with a scheme to be submitted to and agreed in writing with the Local Planning Authority. (Pre-commencement condition).
- That the proposed on-site parking / servicing and turning area shall be laid out, demarcated, levelled, surfaced and drained in accordance with the approved plan and thereafter retained for that specific use.
- That temporary facilities shall be provided clear of the public highway for the parking, turning, loading and unloading of all vehicles visiting the site during the period of construction.
- That the proposed use visibility splays shall be provided each side of the vehicular access in full accordance with the details indicated on the submitted plan No 0025-100 rev 18. The splays shall thereafter be maintained free from any obstruction exceeding 0.6m above the level of the adjacent highway carriageway.
- Prior to the first occupation of the development the junction of the access with the highway carriageway shall be laid out with 6m radius kerbs.
- Access drainage measures
- A metalled surface along the access road
- That a route for all traffic associated with the construction of the development (or associated with the use of the site) has been provided and approved in writing to the satisfaction of the Local Planning Authority together with proposals to control and manage traffic using the agreed route and to ensure no other local roads are used by construction traffic (or site traffic) (Pre-commencement condition).
- That the offsite highway improvement works based on drawing 0025-100 rev 18 shall be completed to the written satisfaction of the Local Planning Authority.

Informatives:

- Guidance notes for Construction Traffic Management Plan
- Guidance notes for Movement and Control of Muck-away and Delivery Vehicles
- Guidance notes for Contractor parking
- Guidance notes for Control of Dust, Mud and Debris

- This development involves work to the public highway that will require the approval of the County Council as Highway Authority. It is an OFFENCE to carry out any works within the public highway, which includes a public right of way, without the permission of the Highway Authority. Please note that it is the applicant's responsibility to ensure that, in addition to planning permission, any necessary consents or approvals under the Highways Act 1980 and the New Roads and Street Works Act 1991 are also obtained from the County Council. Public Utility apparatus may be affected by this proposal. Contact the appropriate utility service to reach agreement on any necessary alterations, the cost of which must be borne by the applicant.
- The applicant is advised that the Local Planning Authority requires a copy of a completed agreement between the Applicant and the Local Highway Authority under Section 38 of the Highways Act 1980 or the constitution and details of a Private Management and Maintenance Company confirming funding, management and maintenance regimes.
- The offsite works indicated within this application will require the applicant to enter a short form 278 agreement with the Highway Authority.
- Cambridgeshire County Archaeologist – No objections subject to a pre-commencement condition relating to archaeological investigation an informatives relating to the condition.

5.8 Internal Drainage Board – No comment. Response:

This development does not meet the agreed criteria for a comment from this department as it doesn't fall within flood zone 2 or 3 and the developer hasn't provided a flood plan for comment.

5.9 Lead Local Flood Authority– No Objection, subject to conditions relating to a Surface Water Drainage submitted to the Local Planning Authority prior to commencement. The LLFA also recommends informatives relating to pollution control and IDB consent. Summary comments:

The submitted documents demonstrate that surface water from the proposed development can be managed through the use of tanked permeable paving discharging via flow control and flap valve into the existing watercourse to the North of the site, restricting surface water discharge to 2.5l/s. The system can also withstand additional rainfall with no discharge and a closed flap valve without flooding. The LLFA is supportive of the use of permeable paving as in addition to controlling the rate of surface water leaving the site it also provides water quality treatment which is of particular importance when discharging into a watercourse. Water quality has been adequately addressed

when assessed against the Simple Index Approach outlined in the CIRIA SuDS Manual.

5.10 Natural England - No objections.

5.11 Urban Design Team – No objections subject to conditions.
Comments:

The application forms a resubmission of near identical 23/00649/FUL application which was refused due to tracking for waste vehicles (Reason 1), SUDs information (Reason 2) and Public Right of way (Reason 3).

The amendments are limited to the submitted Proposed Site Plan (Rev 0025-100 Rev 17) which extends the section of footpath on the east side of the access further east along the High Street and introduces a dropped kerb on both sides of the High Street to facilitate pedestrian access.

No changes have been made to the submitted elevations or floor plans, as such minor amendments are required to address previous comments raised on the 23/00649/FUL relating to:

- Replace the side secondary bedroom window to Plot 9 with a tax window to avoid overlooking to 10;
- Change plots 1 and 2 to red facing brick to reflect units adjacent and opposite the site.
- Introduce stone cills, brick string coursing and sash windows to Plots 1, 2, and sash windows for plots 5 and 6 to create a more consistent appearance to the High Street and Spine Road and reflect the traditional appearance of existing dwellings within the High Street.

These amendments could be dealt with by way of suitably worded conditions if necessary.

5.12 HDC Waste – No response.

5.13 HDC Conservation Officer – Objects to the proposals. Summary comments: This development is not in accordance with policy LP 34 of the adopted Huntingdonshire Local Plan and is contrary to the NPPF policies 189 to 208.

5.14 HDC Trees Officer – No objections subject to conditions.

5.15 HDC Affordable Housing - No Objections.

5.16 Anglian Water – No objection, subject to informatives regarding assets affected and the Used Water Network

5.17 Cadent Gas – No response.

- 5.18 Environmental Health Officer – No objections subject to conditions relating to a Noise Mitigation Scheme and a Construction Environmental Management Plan.
- 5.19 HDC Ecology Officer – No objections, subject to conditions relating to the submission of a Biodiversity Methods Statement and lighting scheme.

6. REPRESENTATIONS

- 6.1 115 Letters of objection were received by the Local Planning Authority relating to this application proposal. These comments are summarised as follows and can be viewed in full on the council's website:

Principle

- No support in Local Plan for First Homes
- No evidence that there is any local need for First Homes
- 2021 Housing Needs Survey not part of the development plan and is therefore out of date
- No local 'key worker' employment opportunities in the village therefore does not meet the requirements of First Home exemption
- Brownfield sites in district and outside more appropriate, agricultural and greenfield land should be safeguarded
- Starter homes should be located where there are job opportunities and amenities nearby
- HDC has its housing requirement fully allocated
- Proposal is outside the village of Spaldwick so is contrary to Local Plan policy LP9
- Proposal would not meet LP28 (Rural Exceptions Housing) as in an unsustainable location
- Proposal contrary to Spaldwick Action Plan.
- Concern that the proposal is only the beginning phase of wider development surrounding the site as submitted documentation refer to development being 'Phase 1' and the developer owns surrounding land (as confirmed by the blue line ownership).
- Concern that the proposal would set a precedent for more development in Spaldwick
- Suggestion in application that residents would form their own management company to manage drainage and flooding issues and maintenance is unrealistic
- Not an infill site so contrary to the Huntingdonshire Local Plan as well as HDC having a 5 year housing supply.
- Concern that the proposal reduces greenfield farming land and opportunities for food production
- Not enough services in Spaldwick able to support more homes in Spaldwick (public transport / cycle routes / shop is in service station / village hall / job opportunities / Play areas – residents would have to travel to other locations for wider

amenities such as supermarkets, activities for older children, pubs

- Development would cause too much strain on services such as GP surgery, Hinchbrook Hospital, dentists, vets, schools.

Flooding and Drainage

- Site and surrounding fields, Ivy Way and High Street also Spaldwick generally experiences surface water flooding regularly, highlighted by the recent flooding on the site in December 2023/January 2024.
- Footpath 12 becomes boggy and pond-like during autumn and winter months so site not appropriate.
- Land slopes towards village and therefore would create flooding issues within the village.
- Increase in built development would increase flooding and drainage issues by reducing natural soak away opportunities.
- Anglian Water Pumping station opposite cannot currently handle existing volume. Although Anglian Water have apparently upgraded the local pumping station with a macerator, sewerage back-up from pumping station into nearby dwellings remains an issue. The proposal would exacerbate these flows and detrimentally impact existing houses as water/sewerage has nowhere else to go but to the existing and proposed dwellings.
- Even after the A14 upgrades, flooding remains a regular issue on the site.
- The butterfly valve is not sufficient for additional development.
- Flooding issues would inevitably worsen given climate change.
- Anglian Water will not invest in long term fix for Spaldwick Pumping Station.
- In the past the petrol station has experienced flooding and the proposal would worsen the situation.
- Spaldwick has clay soil which leads to flooding issues. More development would worsen the situation.
- Concern that ditches on and on houses adjacent to the site already require regular clearing and concern how this would be maintained.
- Site has been intentionally submitted small to avoid drainage consultation.
- Claim that a tanker can be arranged to empty pumping station is untrue: During last flooding event, Anglian Water advised no tankers available.
- Application does not sufficiently address management of surface or foul water.
- Unfair to expect occupants of proposed dwellings to pay to maintain drainage requirements.
- Proposal is intentionally under 1 hectare to avoid need for a full Flood Risk Assessment.

- Placing dwellings on flood risk areas would make them uninsurable / may have difficulty in obtaining mortgages and selling property in the future.

Design

- Plans fail to define a sufficient heating solution for proposed dwellings.

Impact to Heritage Assets

- Proposal would detrimentally impact conservation area setting as out of keeping with the conservation area.
- Proposal would detrimentally impact ancient village of Spaldwick.
- Proposal would detrimentally impact historic High Street.

Residential Amenity

- Noise
 - Buildings would reflect the noise to neighbouring area to an unacceptable level
 - Direct noise impacts to No.1 Ivy Way
 - Residents would be subject to unacceptable noise from A14 and Service Station opposite
 - Public Right of Way amendment would cause noise and disturbance for residents on Ivy Way
 - Noise and disturbance during construction phase
- Light impacts / Loss of light
 - Headlights of vehicles exiting the site at night would face residential properties opposite, interrupting sleep and causing stress
 - Introduction of light pollution from the development
 - Overshadowing to occupants of neighbouring properties
- Air pollution
 - Residents would be subject to unacceptable air pollution from A14 and Service Station opposite
- Loss of Privacy
 - To neighbouring residents on Ivy Way
- Overbearing
 - To neighbouring residents, given the proximity to neighbours on Ivy Way
- Concern that the proposal would not provide a clear public benefit to current residents of Spaldwick (cleanliness / Village Hall)

Public Right of Way

- Concern that the Public Right of Way would now go through a housing estate, thereby reducing amenity
- Concern that the Public Right of Way repositioning would cause mud issues for residents
- Concern that the proposal would not have access to field adjacent for farming, and therefore suggests more development coming.

- Concern that the proposal claims no objections raised regarding the Public Right of Way which is incorrect as the previous application had objections to the amendment to the Public Right of Way from the PRow team and neighbour comments.
- Public Right of Way should be safeguarded as it provides village amenity. Development surrounding the ProW would dissuade people from using it.
- Public Right of Way amendment may cause illegal access to gardens on Ivy Way.
- Concern regarding loss of footpath gate
- Proposal would expand Spaldwick into countryside/would reduce green space around the village
- Concern at the loss of greenfield walking route for walkers

Parking, Traffic and Highway Safety

- Concern that additional traffic (approximately additional 30 vehicles) from the development would cause accidents
- concern that vehicles leaving A14 approximately 100m from a major slip road are routinely above 30-40mph causing safety risks.
- Speed and volume of traffic must be a consideration given the proximity to the A14 and slip road which is very close to the proposal
- Concern that the fuel garage opposite has vehicles entering and queuing causing significant congestion and safety concerns.
- Concern that the fuel garage exit is used for overnight parking for lorries and HGVs, who reverse in front of fuel station with accidents already happened.
- Concern that people crossing the road to use fuel station would be a safety risk, no provision for safe crossing
- Concern that the surrounding roads to the fuel garage is used for HGV parking for lorries can congestion and visibility safety risks
- Concern that the proposal would conflict with forthcoming A14 improvements
- Proposal would be car reliant due to lack of public transport serving village
- Proposal can only be provided to people who can afford their own transport
- Concern that the proposal would cause damage to roads

Impact to Biodiversity and Trees

- Proposal would reduce natural habitats and disrupt established wildlife
- Impact to bats (Red Kites and bats)
- Impact to wild nested snipes
- Concern over the loss of two Ash trees prior to submission of application

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2023). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.4 The main issues to consider as part of this application are:
- Principle of Development
 - Parking Provision, Highway Safety and Traffic Generation
 - Design, Visual Amenity and impact on the surrounding area
 - Residential Amenity
 - Biodiversity
 - Trees
 - Flood Risk and drainage
 - Other matters

Principle of Development

- 7.5 Policy LP2 of the Huntingdonshire Local Plan to 2036 (the Local Plan) sets out the overarching development strategy for Huntingdonshire through the plan period. The main objectives are to:
- Concentrate development in locations which provide, or have the potential to provide, the most comprehensive range of services and facilities;
 - Direct substantial new development to two strategic expansion locations of sufficient scale to form successful, functioning new communities;

- Provide opportunities for communities to achieve local development aspirations for housing, employment, commercial or community related schemes;
- Support a thriving rural economy;
- Protect the character of existing settlements and recognise the intrinsic character and beauty of the surrounding countryside;
- Conserve and enhance the historic environment; and
- Provide complementary green infrastructure enhancement and provision to balance recreational and biodiversity needs and to support climate change adaptation.

7.6 Some third-party responses (including Spaldwick Parish Council) have raised concern that the proposal is contrary to the Local Plan as Huntingdonshire District Council has met its requirement for 5-year housing supply, that the proposal is in the countryside where greenfield and agricultural land should be safeguarded, is not an infill site and is in an unsustainable location with little amenities nearby and that there is no evidence or need for First Homes in the village. Consequently, it is put forward that the proposal would not meet Local Plan Policies LP9 (Small Settlements), or LP28 (Rural Exceptions Housing). Third parties have also raised that the 2021 Spaldwick Housing Needs Survey is out of date. These concerns are addressed in the proceeding section.

7.7 The proposed development is situated on the eastern edge of Spaldwick which is classified as a small settlement within the Huntingdonshire Local Plan to 2036. Policy LP9 'Small Settlements' of the Local Plan to 2036 sets out that:

"A proposal that is located within a built-up area of a small settlement will be supported where the amount and location of development proposed is sustainable in relation to the:

- a. Level of service and infrastructure provision within the settlement;*
- b. Opportunities for users of the proposed development to access everyday services and facilities by sustainable mode of travel including walking, cycling and public transport;*
- c. Effect on the character of the immediate locality and the settlement as a whole.*

Development Proposals on Land well-related to the Built-up Area: A proposal for development on land well-related to the built-up area may be supported where it accords with the specific opportunities allowed for through other policies of this plan."

7.8 The Local Plan to 2036 sets out guidance for assessing whether a site is situated within or outside the built-up area on pages 52-55. The site is not considered to be within the built-up area as it is not within a distinct group of buildings more than 30 or more homes and is open on its northern western and southern

boundary. Specifically, the proposal is defined as an exclusion of the built-up area by virtue of its open space character which is not well contained by strong boundary features and provides a visual buffer between the built form and the countryside and primarily relates to the countryside rather than built development. Therefore, the site is considered to be outside of the built-up area but given its close proximity to the village and services in Spaldwick, is considered to be well-related to the built-up area. Therefore, the proposal may be supported where it accords with the specific opportunities allowed for through other policies of the Local Plan.

- 7.9 As the site is considered to be within the countryside, policy LP10 of the Local Plan to 2036 is relevant. This Policy states:
- 7.10 *“Development in the countryside will be restricted to the limited and specific opportunities as provided for in other policies of this plan. All development in the countryside must:*
- a. seek to use land of lower agricultural value in preference to land of higher agricultural value:*
 - i. avoiding the irreversible loss of the best and most versatile agricultural land (Grade 1 to 3a) where possible, and*
 - ii. avoiding Grade 1 agricultural land unless there are exceptional circumstances where the benefits of the proposal significantly outweigh the loss of land;*
 - b. recognise the intrinsic character and beauty of the countryside; and*
 - c. not give rise to noise, odour, obtrusive light or other impacts that would adversely affect the use and enjoyment of the countryside by others.”*
- 7.11 The site is classified as Agricultural Land Class Grade 3 which is considered low in terms of versatile and best land, and so has the capacity to be in accordance with LP10 (a). Criterion b and c are addressed elsewhere in this report but it is accepted that the proposal has capacity to meet these requirements.
- 7.12 Explanatory paragraph 4.110 of LP10 policy also limits development in the countryside to those limited and specific opportunities provided for in policies LP19 Rural Economy, LP20 Homes for Rural Workers, LP22 Local Services and Community Facilities, LP23 Tourism and Recreation and LP28 Rural Exceptions Housing.
- 7.13 The proposal is for ‘First Homes’, an affordable housing provision that was introduced in 2021 via a Written Ministerial Statement (WMS) and updates to the Planning Practice Guidance (PPG) intended to help first time buyers get on the property ladder.
- 7.14 Planning Practice Guidance (PPG) puts forward the following qualifying criteria for First Homes:

- a) [They] must be discounted by a minimum of 30% against the market value;
- b) are sold to a person or persons meeting the First Homes eligibility criteria (as set out in the PPG);
- c) on their first sale, [They] will have a restriction registered on the title at HM Land Registry to ensure this discount (as a percentage of current market value) and certain other restrictions are passed on at each subsequent title transfer; and,
- d) after the discount has been applied, the first sale must be at a price no higher than £250,000.

7.15 Comments have been raised by third parties regarding the lack of Local Plan policy support for First Homes. The First Homes scheme was introduced by Government after the adoption of the Local Plan. There is however, a First Homes Statement which is available on the Council's website. The Huntingdonshire First Homes Statement (2022) (HFHS) notes that Huntingdonshire District Council is intending to use the national criteria for First Homes until such time as appropriate evidence to support local criteria is available. Therefore, HDC are not intending to adopt a local lower market discount, lower value cap or lower household income threshold than set out in government guidance.

7.16 The HFHS also states that the WMS and PPG allows local authorities to apply local connection criteria to First Homes without the need to provide supporting evidence as First Homes are intended to allow people to get on the housing ladder in their local area. The local connection criteria that will apply to First Homes sold in Huntingdonshire is set out in Appendix 1 of the HFHS. The local connection criteria will apply via a Section 106 Agreement upon the first and every successive sale of a First Homes, although the criteria will be lifted after three months from when the home is first marketed if the home has not been reserved or sold. If a suitable buyer has not reserved a home after 3 months, the eligibility criteria (including income caps) will revert to the national criteria set out in the PPG, to widen the consumer base.

7.17 The Council's adopted planning policy for affordable housing in Huntingdonshire is set out in Section 7 Strengthening Communities of the Local Plan to 2036. Specifically, Policy LP24 (Affordable Housing Provision) states:

"In order to assist in meeting the identified local need for additional affordable homes, a proposal which includes housing development will be required to provide a range of affordable housing types, sizes and tenures. These should be appropriate to meet the requirements of the local community taking into account the latest evidence from the Housing Register The affordable housing provision may include specialist or supported housing where an identified need exists, the Cambridge sub-

region Strategic Housing Market Assessment and other local sources. The affordable housing provision may include specialist or supported housing where an identified need exists. A proposal will be supported where:

- a. it delivers a target of 40% affordable housing on a site where 11 homes or 1,001m² residential floorspace (gross internal area) or more are proposed;*
- b. it provides approximately 70% of the new affordable housing units as social or affordable rented properties with the balance made up of other affordable tenures;*
- c. affordable housing is dispersed across the development in small clusters of dwellings; and*
- d. it ensures that the appearance of affordable housing units is externally indistinguishable from that of open market housing.*

Where it can be demonstrated that the target is not viable due to specific site conditions or other material considerations affecting development of the site an alternative dwelling or tenure mix or a lower level of provision may be supported. Preference will be given to amending the tenure mix; only if this is still demonstrated not to be viable will consideration be given to reducing the affordable housing requirement.

A development viability assessment may be required to support an alternative mix or level of affordable housing provision. In exceptional circumstances it may be appropriate to accept off-site provision and/or commuted payments where this would offer an equivalent or enhanced provision of affordable housing.”

- 7.18 The proposal is comprised of 100% affordable housing so complies with parts a-c of LP24. Part d is assessed in the ‘Design and Visual Amenity’ section below.
- 7.19 Local Plan Policy LP 25 (Housing Mix) confirms that a proposal for major scale development that includes housing will be supported where it provides a mix of sizes, types and tenures which help achieve sustainable, inclusive and mixed communities. The Policy states:

“A proposal should set out how it responds to the evidence and guidance provided by:

- a. the Cambridge sub-region Strategic Housing Market Assessment;*
- b. the Peterborough Strategic Housing Market Assessment where applicable;*
- c. the Council's Housing Strategy and Tenancy Strategy;*
- d. local assessments of housing need and demand; and*
- e. other local housing and demographic studies and strategies.*

A proposal for wholly affordable housing will be supported where it contributes positively to the mix of tenures available in the local area.”

- 7.20 In this case, part e is relevant.
- 7.21 The proposal is supported by the Spaldwick Housing Needs Survey (SHNS) (2021) which notes that lack of housing provision inflates prices and therefore creates a need for affordable housing delivery. The SHNS identifies the need for 7 affordable homes including bungalows which can be expanded to 15 homes, given the NPPF requirement for 5% of the settlement, which the proposal meets. The proposal comprises a mix of 7 First Homes, 3 Shared Ownership and 5 Affordable Rent, with three of the dwellings being bungalows. The Applicant would accept a Local Connection requirement secured within a S106 legal agreement. The proposal is considered to accord with LP24 of the Huntingdonshire Local Plan in this instance.
- 7.22 The WMS points out that the Government seeks to deliver First Homes via exception sites. Exception sites are small sites brought forward outside of development plans in order to deliver affordable housing, and currently consist of rural exception sites and entry-level exception sites.
- 7.23 Therefore, the proposal must also be assessed against LP28 (Rural Exceptions Housing). Policy LP28 states:

“A proposal for housing will be supported on a site well-related to a built-up area, as an exception to the requirements of relevant policies, where it can be demonstrated that:

- a. at least 60% (net) of the site area is for affordable housing for people with a local connection;*
- b. the number, size, type and tenure of the affordable homes is justified by evidence that they would meet an identified need arising within the settlement or nearby small settlements (as defined in 'Small Settlements') through a local needs survey or other local needs evidence;*
- c. the remainder of the site area is available as open market housing or plots suitable for custom or self-build homes tailored to meet locally generated need; and*
- d. the amount of development and location of the proposal is sustainable in terms of:*
 - i. availability of services and existing infrastructure;*
 - ii. opportunities for users of the proposed development to travel by sustainable modes; and*
 - iii. effect on the character of the immediate locality and the settlement as a whole.*

Mechanisms, including planning conditions/ obligations, will be put in place to ensure that the affordable housing is delivered

and remains affordable in perpetuity or for the appropriate period as applicable to the form of housing.

To ensure that market housing and affordable housing elements are delivered concurrently a planning condition will be applied.”

- 7.24 In terms of criterion a, this can be secured by Section 106 agreement. Part b is satisfied due to compliance as identified in the Spaldwick Housing Needs Survey. Part c is not relevant to this application as the proposal is for 100% affordable home provision.
- 7.25 In relation to Part d (i), it is noted that Spaldwick is served by an existing Primary School, play area, public house, church and Applegreen Service Station which includes a shop, off licence and restaurants. Spaldwick is also served by public transport, with a bus stop a 7-minute walk away on Church Lane serving the village to Huntingdon and is therefore considered to be a sustainable location in terms of services and infrastructure. In relation to Part d (i), the site is within a reasonable walking distance of bus stops, the village pub, Applegreen Service Station, accessible via a footpath and the village school. It is considered that residential development of the site would accord with this part of the policy. Part d (iii) is considered in the rest of this report, and it is considered that the proposal has the capacity to meet this criterion.
- 7.26 Third parties have raised concern that the proposal would not meet the criteria for First Homes. This would be secured by a Section 106 agreement.
- 7.27 Comments received stating that other sites would be more suitable to development and that the proposal would set a precedent to additional development are noted. However, the Local Planning Authority can only assess the proposal in front it and each application is assessed on its own merits.
- 7.28 Comments raising concern that the occupants would have to manage drainage and flooding issues and that the proposal is contrary to the Spaldwick Action Plan are acknowledged, but these specific issues regarding the Spaldwick Plan are not planning matters. Flood risk and drainage is discussed in detail below.
- 7.29 Although the application site is located outside of the built-up area of Spaldwick, the site is well-related to the village and would meet the requirements set out in the NPPF, the government First Homes criteria PPG and Policies LP2, LP9, LP10, LP24, LP25 and LP28 of delivering a rural exception site of 100% affordable dwellings. The principle of development is therefore considered to be acceptable subject to the other material planning considerations discussed below.

Flood Risk and Drainage

- 7.30 National guidance and Policy LP5 of the Local Plan to 2036 seek to steer new developments to areas at lowest risk of flooding and advises this should be done through application of the Sequential Test, and if appropriate the Exceptions Test (as set out in paragraphs 159-169 of the NPPF (2023)). The site lies within Flood Zone 1 on the Environment Agency Maps for Flooding and on the Council's Strategic Flood Risk Assessment maps but is at a low to medium risk of surface and groundwater flooding and is shown in the SFRA to be susceptible to flooding during 1 in 1000 year flood events.
- 7.31 The representations received from the Parish Council and neighbours regarding regular flooding events on the site itself and adjoining land and potential for further flood risk are noted, as are concerns regarding the Anglian Water Pumping Station capacity and concern regarding clay soil on the site.
- 7.32 As the site is located in Flood Zone 1 and is under 1 hectare in area, it is not necessary for a sequential test to be carried out to identify other potential sites at a lower risk of flooding, nor is there a requirement for a Flood Risk Assessment to be carried out on the site. The application is accompanied by a Phase 1 Desk Study, a Drainage Site Survey, a Proposed Drainage Site Plan, Drainage Details drawing, and a Drainage Report.
- 7.33 The topography of the site falls slightly in an eastern direction from levels of around 20m above Ordnance Datum (AOD) in the south western corner to around 19m AOD in the north eastern corner. The Phase 1 Desk Study establishes that the site is at a low risk of river and coastal flooding and a 1 in 30 year, 0.1m-0.3m risk of surface water flooding. Groundwater flooding was found to be negligible.
- 7.34 The main flood risk aspect associated with the proposed development is ensuring that surface water drainage from the site would be dealt with in accordance with all relevant local and national guidance/standards to ensure that there would be no adverse impact upon the downstream risk of flooding as a result of the development.
- 7.35 In terms of the proposed surface water drainage strategy, paragraph 6.3.17 of the Cambridgeshire Flood and Water SPD 2017 states that it is a Building Regulations and Planning Practice Guidance requirement that the discharge hierarchy for surface water drainage is followed.
- 7.36 The hierarchy requires that rainwater shall discharge to the following, listed in order of priority:

- To ground in an adequate soakaway or some other adequate infiltration system
 - A watercourse
 - A surface water sewer, highway drain or other drainage system
 - A combined sewer
- 7.37 The submitted Phase 1 Desk Study states that the site is underlain by a Oxford Clay geology which is unsuitable for infiltration due to its low permeability and storage capability, therefore infiltration systems are not considered to provide a feasible method of draining surface water from the site.
- 7.38 The proposal is to discharge surface water via tanked permeable paving discharging via flow control and flap valve into the existing watercourse to the north of the site, restricting surface water discharge to 2.5l/s. The system can also withstand additional rainfall with no discharge and a closed flap valve without flooding.
- 7.39 Cambridgeshire County Council as the Lead Local Flood Authority (LLFA) were consulted on the application and initially requested clarifications and further detail regarding the proposed filter drain, given the recent Storm Henk and subsequent surface water ponding on site, noting the drainage ditch to the east and west of the site would require to be maintained without increasing flood risk to a neighbouring property.
- 7.40 Details were thus sought and provided from the applicant to demonstrate how the filter drain would perform in instances of high water levels. The applicants drainage engineer provided a letter outlining that given the topography of the site, surface water runoff would likely be to the eastern ditch of the site, nor to the south and that the proposed filter drain would prevent and minor localised flows from entering site, but would not impact the total flows in the ditches which would be unchanged. These flows are likely to be negligible and the flow from outside the development will discharge as it does not directly to the eastern ditch, and the runoff from the site would be greatly reduced. Ant flow which does enter the filter drain will discharge to the eastern ditch as it does now.
- 7.41 The LLFA re-consultation comments raise no objection to the proposals stating that the LLFA is supportive of the use of permeable paving as in addition to controlling the rate of surface water leaving the site, it also provides water quality treatment which is of particular importance when discharging into a watercourse. The LLFA recommends conditions relating to a detailed design of the surface water drainage and surface water runoff and drainage systems to be submitted to and approved in writing by the Local Planning Authority to ensure adequate drainage and no increase in flood risk and to ensure the

principles of sustainable drainage can be incorporated into the development.

- 7.42 In terms of foul water drainage, it is proposed that the development connects to the Anglian Water sewer to the north-west of the site. Anglian Water were consulted on the application and raised no objection stating that the foul drainage from this development is in the catchment of Easton (Cambs) water Recycling Centre that will have availability and capacity for these flows. A condition requiring a scheme of foul water drainage could be imposed in the event of an approval decision made on the application. Therefore, while comments relating to flooding and sewerage capacity have been made by third parties, the Lead Local Flood Authority, Internal Drainage Board and Anglian Water have raised no significant concerns regarding the application, and therefore officers are satisfied that the proposal could be made acceptable regarding flooding and sewerage issues via conditions.
- 7.43 Concern has been raised regarding ability for occupants to obtain necessary insurance are acknowledged. However, this is not a planning issue and cannot be considered as part of the appraisal. Comments relating to the site being intentionally under 1 hectare are noted, however the proposal can only be assessed using submitted information, technical consultee responses and local and national policy. In this case the site is under 1 hectare, has been assessed as acceptable (subject to conditions) by technical flood risk and water consultees and has subsequently been considered to meet local and national policies.
- 7.44 Overall, it is considered that the risks of flooding, drainage and sewerage have been fully assessed and it has been demonstrated that the development can be made safe for its lifetime without increasing flood risk elsewhere. Subject to conditions, the proposal is considered to accord with Policies LP5 and LP15 of the Local Plan, Section 14 of the NPPF 2023, and the Cambridgeshire Flood and Water SPD 2017.

Design and Visual Amenity

- 7.45 Policy LP11 of the Local Plan states that proposals will be supported where it is demonstrated that they positively respond to their context and draw inspiration from the key characteristics of their surroundings, including the natural, historic and built environment.
- 7.46 Policy LP12 of the Local Plan states that proposals will be supported where they contribute positively to the area's character and identity and where they successfully integrate with adjoining buildings.

- 7.47 Paragraph 135 of the NPPF 2023 states that planning policies and decisions should ensure that developments:
- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
 - b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
 - c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
 - d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit.
 - e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
 - f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.
- 7.48 The National Design Guide 2021 addresses the question of how we recognise well-designed places by outlining and illustrating the Government's priorities for well-designed places in the form of ten characteristics. The Guide supports paragraph 135 of the NPPF that states permission should be supported for development of good design.
- 7.49 The Huntingdonshire Design Guide 2017 sets out design principles based on recognised best practice and explains key requirements that the Council will take into consideration when assessing planning proposals. The Design Guide promotes locally distinctive design which respects and enhances the character of Huntingdonshire.
- 7.50 The site lies to the east of the main built-up area of Spaldwick and covers an area of approximately 0.81 hectares. The site borders existing buildings on two sides. To the north of the site lies residential units at Nos. 45 and 53 High Street and to the west lies Nos. 1, 3, 5 and 7 Ivy Way. The Applegreen Service Station lies immediately opposite the site. The site is bounded by a dense belt of mature trees and hedgerows to the west and more sporadic trees and hedgerows to the north and east, a drainage ditch also borders the north, west and eastern boundaries. The southern edge is open to the remaining part of the field and the wider countryside. An existing access is located in the northwest corner of the site from the High Street.

- 7.51 The site is crossed by a public footpath (PRoW 2019/12) running north-south. The north-west corner of the site lies adjacent to the Spaldwick Conservation Area and two Grade II Listed Buildings are located over 120 metres west from the site.
- 7.52 The application forms residential units comprised of 15 dwellings (10 x semi-detached and 5 x detached, 3 of which are bungalows), comprising 1 x 1-bed, 10 x 2 bed and 4 x 3-bed. Of these, 7 are First Homes, 3 are shared ownership and 5 are affordable rent. It is acknowledged that the proposal follows advice provided as part of discussions on the prior withdrawn application (23/00649/FUL).
- 7.53 The site access has been located further west and the first section of the spine road aligned to more closely follows the western site boundary, whilst the southern end of the spine road continues to follow the diagonal alignment of the PRoW, the reduction in the number of units has allowed the creation of a simple perimeter block with outward facing development fronting the site boundaries, the spine road and perimeter shared surface loop road with secure and enclosed back-to-back rear gardens. The reduction in units has allowed for more consistent building lines which helps conceal and better integrate the parking which is now located to the side of each dwelling.
- 7.54 The revised layout incorporates deeper areas of structural landscaping along the eastern and southern site boundaries, which together with the arrangement of the Bungalows (Plots 10, 11 and 12) creates a softer transition with the adjacent countryside. The previous arrangement with footpaths either side of the spine road, duplicating the 'landscape walk' has been rationalised and the footpath on the west side of the spine road omitted.
- 7.55 Units are arranged with secure back-to-back rear gardens with 23.6m and 25.1m separation distances in accordance with the 21m minimum back-to-back distance set out in the HDC Design Guide SPD.
- 7.56 House types have been revised following previous comments on the withdrawn application and now incorporates kitchen windows on the side elevations overlooking the adjacent side drives. Plots 01, 06, 10 and 12 have been configured as corner turning units with front entrances on the side elevations and windows to habitable rooms on both the front and side elevations addressing the corners of the perimeter block to the spine road and shared surface loop road.
- 7.57 Plot 9 includes a south facing secondary bedroom window on the side elevation. There is concern this could result in perceived overlooking impacts to the rear garden of Plot 10 to the south. Given this forms a secondary window it is recommended this

window be omitted and replaced with a tax window. This change could be agreed by way of condition to make the proposal acceptable.

- 7.58 The elevations have been revised to create a more traditional appearance and comprise a mixture of buff brick (Plots 1, 2, 13, 14) or red brick (Plots 3-4, 7-8, 9, 11, 12, 15). It is recommended that plots 1 and 2 also feature red facing brickwork to reflect the red brick units opposite the site and within the Ivy Way frontage adjacent. This can be secured by condition.
- 7.59 Render with red brick splash courses is proposed for Plots 5-6 and 10 fronting the spine road and are supported and helps reinforce these marker buildings, create a hierarchy of units and reflects the rendered dwellings further west fronting the High Street.
- 7.60 All units now feature corbelled brick eaves and verges (Plots 1, 2, 10, 13, 14) or exposed rafter feet (Plots 5-6, 7-8, 9, 10, 11, 12, 15). Plots 1, 2, 3, 4, 5, 6, 10, 12 feature chimneys. Stone cills, feature brick string coursing and sash windows are proposed for Plots 3-4, 7, 8, 9 and 15.
- 7.61 The Urban Design Officer on the previous application advised a more consistent and traditional appearance was recommended for the High Street frontage and units fronting the spine road (i.e. facing brickwork, sash windows, stone cills and soldier course windows heads and coursing). Whilst the revised application has largely addressed these comments, stone cills, brick string coursing and sash windows should be specified for Plots 1, 2, and sash windows for plots 5 and 6 to create a more consistent appearance to the High Street and Spine Road and reflect the traditional appearance of existing dwellings within the High Street. These changes could be agreed by a suitably wording condition to make the proposal acceptable in design terms.
- 7.62 Conditions are also recommended to confirm the red and buff facing brickwork, colour and type of render, the concrete roof tiles (traditional slate, of slate effect tiles with a thin leading edge are recommended, with some units in red plain tiles), windows – means of opening and RAL colour (submitted elevations show ‘coloured’ window however the colour has not been specified. It is unclear if the sash windows shown would be sliding), and the colour of fascias and rainwater goods.
- 7.63 An architectural details condition is required to confirm the location and colour of meter boxes, flues, vents and extracts.
- 7.64 A third party has raised concern that the plans fail to define a sufficient heating solution. While these comments are considered, heating is a Building Control issue and is subject to

legislation outside of planning and therefore cannot be taken into account in the assessment of this application.

- 7.65 It is accepted that subject to conditions, the proposal is acceptable in design terms and would therefore be in accordance with Local Plan Policies contrary to Policies LP9, LP10, LP11, LP12 and LP24 part d of the Local Plan to 2036.

Impact upon Heritage Assets

- 7.66 The proposal is adjacent to Spaldwick Conservation Area on its north-western boundary and is sited 120 metres east from the Grade II Listed Building Ivy House and approximately 123 metres from 38 High Street also to the east. Section 72 of the Planning (LBCA) Act 1990 states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.
- 7.67 Section 66 of the Planning (LBCA) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- 7.68 Paras 189 - 202 of the NPPF provide advice on proposals affecting heritage assets and how to consider different levels of harm. Para. 194 states 'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification'.
- 7.69 Policy LP34 of the Local Plan aligns with the statutory provisions and NPPF advice and seeks to preserve heritage assets and their settings, stating that the statutory presumption of the avoidance of harm can only be outweighed if there are public benefits that are powerful enough to do so.
- 7.70 Third party objections relating to heritage assets include concerns that the proposal would detrimentally impact Spaldwick historic character and designated Conservation Area form material consideration which is assessed in the proceeding section.
- 7.71 Huntingdonshire District Council's Conservation Officer has reviewed the submitted documentation associated with this planning application and has objected to the proposals as the proposal would result in harm to the significance of Spaldwick Conservation Area by virtue of its design layout and massing. The consulted Conservation Officer considers the harm caused by the proposal to be less than substantial, and that this level of harm can only be outweighed if there are sufficient public

benefits to do so. The site is not within the conservation area therefore whilst 'great weight' is afforded to this recommendation it is not 'special weight'.

- 7.72 The local planning authority must make special regard to the desirability of preserving the setting of a Conservation Area as per the Planning (Listed Buildings & Conservation Areas) Act 1990, and paragraph 208 of the NPPF 2023 requires the harm to be weighed against the public benefits of the proposal.
- 7.73 In this case, while it is acknowledged that the proposal would result in a degree of harm to the adjacent Spaldwick Conservation Area and wider historic character of the village, it is considered that on balance, the public benefits of the scheme which include 100% affordable housing provision secured by a S106 agreement would outweigh the less than substantial harm to the setting of the Spaldwick Conservation Area.

Archaeology

- 7.74 The site lies in an area of archaeological potential to the east of the historic core of Spaldwick.
- 7.75 A recent archaeological investigation carried out 70m from the proposed development within the curtilage of Grade II listed Ivy House which dates to the late 17th century (National Heritage List For England reference 1165318) has identified remains relating to domestic activity on the site mainly dating to the mid-12th to 14th centuries (Cambridgeshire Historic Environment Record reference ECB6525). These include ditches which may represent plot boundaries extending from the High Street which has origins dating back to at least the Saxon period. Previous archaeological investigations conducted within the village core have also revealed evidence of Iron Age, Saxon and medieval occupation and industrial activity including charcoal roasting pits and the remains of timber buildings of Saxo-Norman date at two different sites further to the north-west of the proposed development at Thrapston Road (MCB19832, CB14594). Additional evidence of medieval activity has also been identified to the west at Ferriman Road (CB14593), and a 14th century gilded brass crucifix was previously uncovered 100m north-west of the proposed development in the grounds of no.41 High Street (00734).
- 7.76 Due to the archaeological potential of the site, Cambridgeshire County Council's Archaeology Officer has recommended that a further programme of investigation and recording is required in order to provide more information regarding the presence or absence, and condition, of surviving archaeological remains within the development area, and to establish the need for archaeological mitigation of the development as necessary. Accordingly, CCC Archaeology have recommended that a pre-

commencement condition securing a programme of archaeological investigation is imposed on any grant of planning permission and is recommended be appended to any consent given to the application.

- 7.77 It is therefore accepted that subject to conditions, the proposal is acceptable in design terms and impact to the Spaldwick Conservation Area and would therefore be in accordance with Local Plan Policies contrary to Policies LP9, LP10, LP11, LP12 and LP34 of the Local Plan to 2036.

Housing Mix

Affordable Housing

- 7.78 Policy LP24 of the Local Plan to 2036 requires a proposal which includes housing development to provide a range of affordable housing types, sizes and tenures. These should be appropriate to meet the requirements of the local community taking into account the latest evidence from the Housing Register, the Cambridge sub-region Strategic Housing Market Assessment and other local sources.
- 7.79 Policy LP25 of the Local Plan to 2036 outlines that a proposal for major scale development that includes housing will be supported where it provides a mix of sizes, types and tenures that help achieve sustainable, inclusive and mixed communities.
- 7.80 All 15 dwellings proposed are affordable, complying with the 40% requirement. The proposed tenure split is 7 First Homes, 3 Shared Ownership and 5 Affordable Rent.
- 7.81 The HDC Policy and Enabling Officer's (Housing) has been consulted as part of the application and raises no objections to the proposal, noting that it would be preferable for the bungalow bathrooms to have a wet room/level access shower instead of a bath. This could be secured by condition should the proposal be approved.
- 7.82 Officers note that the quantum of affordable homes, tenure and mix meets the aims of Policies LP24 and LP25 of the Local Plan. The mix proposed in this scheme broadly complies with the mix sought for Huntingdonshire in the Housing Needs of Specific Groups (October 2021) and the Spaldwick Housing Needs Survey (February 2021) and will help to achieve a sustainable, inclusive and mixed community in this locality.
- 7.83 The proposal is therefore considered to accord with the requirements of Policy LP24 part d) of the Huntingdonshire Local Plan to 2036.

Impact upon Amenity

7.84 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings. A site visit was carried out by the case officer during the course of the application.

Amenity of neighbouring properties

7.85 Third-party objections relating to residential amenity submitted in relation to this proposal including noise, light impacts, air pollution, loss of privacy, overbearing and other environmental impacts have been considered and taken into account, alongside consultee comments relating to the same.

7.86 The site is bound on its western side by linear residential development on Ivy Way, the dwellings having their rear or side elevation facing the proposal site. Dwellings are also sited to the north of the proposal on High Street. Otherwise, the site is bound on its eastern and southern elevations by open land.

7.87 Page 143 of the Huntingdon District Design Guide states: 'A general rule of thumb of 21m distance between properties ensures privacy for residential use.' No.1 Ivy Way is the closest dwelling to the development, with Unit 6 being the nearest dwelling at approximately 35 metres to the west of this proposed dwelling. Given the separation of the proposed dwellings from nearby existing dwellings, it is considered that no additional windows that directly overlook any neighbour would result in detrimental overlooking issues. Moreover, no part of the proposals intersect the 45 degree guidance criteria set out within The Huntingdonshire Design Guide 2017 section 3.7 (Building Form) to cause any significant concerns regarding loss of light, sense of enclosure or loss of privacy. This relative proximity would not cause significant noise or environmental impacts such as air or light pollution that would warrant a refusal of the application on amenity grounds.

7.88 It is acknowledged that concerns have been raised by third parties in relation to noise from the Public Right of Way, headlights of vehicles exiting the site at night, light pollution from the development and other environmental impacts including air pollution, as outlined above, it is considered that the cumulative environmental impacts would not be so significant that it would warrant refusal of the application on amenity impacts alone and would be balanced with the public benefit from the provision of affordable housing. Notwithstanding this, the proposal has been considered by the Huntingdonshire Council's Environmental Health Officer who raises no significant concerns regarding potential detrimental impact to neighbouring dwellings subject to a Construction Environmental Management Plan (CEMP) to be

submitted to and approved by the Local Planning Authority prior to commencement of development to ensure the environmental impact of the construction of the development is adequately mitigated and in the interests of nearby residents.

- 7.89 On balance, while concerns have been raised regarding the impacts to residential amenity have been considered, the proposal overall accords with Policy LP14 of the Local Plan in respect of its impact upon neighbouring properties and is therefore acceptable.

Amenity for future occupiers

- 7.90 Huntingdonshire District Council's Environmental Health Officer (EHO) has considered the proposals and raises concerns that the proposals may incur some noise impacts to occupants of the proposed dwellings given the proximity of the proposals to the A14 within a direct line of sight. The EHO subsequently recommends the submission of a Noise Mitigation Scheme to be submitted to and approved by the Local Planning Authority prior to commencement of development. This recommendation from the EHO is considered to meet the five tests for conditions in respect of amenity and is recommended to be appended to any consent given to the submitted application.

- 7.91 In terms of internal space for future occupiers, the proposed gross internal area (GIA) for Unit 1 which is a 1-bedroom bungalow, 2-person unit is 50sqm. Units 1 and 6 are two storey, two bedroom, 4 person dwellings and would have a GIA of 83.6sqm. Units 2, 5, 7 8, 13 and 14 are two storey, two bedroom, 4 person dwellings and would have a minimum GIA of 79.8sqm. Units 3, 4 9 and 15 are two storey, three bedroom, 5 person dwellings and would have a minimum GIA of 96.6 sqm. Units 10 and 13 would be single storey, two-bedroom, 3 person dwellings and would have a minimum GIA of 62.0 sqm.

- 7.92 These proposed gross internal areas accord with the nationally described space standards (NDSS). Accordance with the NDSS is not a policy requirement within the Huntingdonshire Local Plan to 2036 but provides some context in terms of living space. In this instance, the proposed internal space is considered appropriately functional and acceptable such that future occupiers would experience a good standard of amenity in this regard.

- 7.93 Whilst HDC do not have private amenity space standards, Local Plan Policy LP12 Design Implementation Part L requires that future development:

'ensures that public and private amenity spaces are clearly defined and are designed to be inclusive, usable, safe and enjoyable'

whereas, Part M also requires developments to:

'successfully integrates the functional needs of the development including refuse and recycling, cycle storage and car parking so that their dominance is minimised'.

- 7.94 The Development Scenario Questions set out in the HDC Design Guide SPD 2017 - Infill and small group developments, question 6.6 considers *'Has an adequate amount of amenity space been provided for each residential unit and is it of a shape, size and location to allow effective and practical use by residents?'* In the case of the proposed units which have 2 or 3 bedrooms, it is reasonable to expect these to be occupied by families. However, in all cases, it is considered that each dwelling has an appropriate amount of private garden area to accommodate the functional needs of occupants – e.g. space for young children to play, planting, dry washing, garden furniture etc.
- 7.95 On balance, therefore, the proposal is considered to be broadly in accordance with Policy LP14 of the Huntingdonshire Local Plan to 2036. The proposed development complies with policy and does not create a significant conflict with any neighbouring residential amenity.

Amenity for users of the Public Right of Way

- 7.96 Public footpath No.12, Spaldwick runs through the site (north/south). The submitted Design and Access Statement puts forward that the Public Right of Way has not been formally relocated due to legal issues but instead provides an alternative walk through (annotated as 'Landscape Walk' on plans) to the western side of the site.
- 7.97 Third-party objections relating to amenity in relation to this proposal including general loss of amenity resulting from the loss of a green, open site and footpath have been considered and taken into account in this section.
- 7.98 The National Planning Framework at paragraph 104 requires that: *"Planning policies and decisions should protect and enhance public rights of way and access, including taking opportunities to provide better facilities for users, for example by adding links to existing rights of way networks including National Trails"*.

7.99 Cambridgeshire Rights of Way Improvement Plan (ROWIP 2016 update) states the main objective is

“...to manage, improve and promote a Public Rights of Way network as an integral part of a wider transport system which meets the needs of the whole community for safe sustainable local transport, which improves public health, enhances biodiversity, increases recreational opportunities and contributes to the rural economy”.

Statement of Action SOA3 and Guiding Principle GP3 also states:

“New development should not damage countryside provision, either directly or indirectly. New settlements should be integrated into the rights of way network, and improved provision made for the increased population. Where appropriate, development should contribute to the provision of new links and/or improvement of the existing rights of way network”.

7.100 The County Council's Guidance for Planners and Developers provides guidance on what is considered acceptable when designing a site layout including Public Rights of Way. The guidance sets out the key criteria and states:

“PRoW should be considered as an integral part of the highway network through and beyond the development site in accordance with government and local transport policies. They should be seen as additional to the proposed network of estate roads, private driveways and streets and should be provided wholly or in the main, separate from them. The re-routing or incorporation of a path along footways, or its extinguishment, should be avoided on all but the very smallest of development sites where there is little or no scope to provide a separate path.”

7.101 The Proposed Site Plan 0025-100-17 shows that other than the section of Public Footpath No. 12, Spaldwick that enters the northern section of the site from the High Street, most of the public footpath is subsumed into the proposed private road or pavement.

7.102 The Definitive Map Team at Cambridgeshire County Council has been consulted as part of the application and initially objected to the proposal as it was not clear whether the applicant will maintain the alignment of the public footpath or divert it as at the time, no application to do so had been submitted to the county council for formal consideration. To maintain the current alignment of the footpath would not be acceptable as the public footpath would be subsumed into a private road or pavement and would therefore require a change of surface which requires prior agreement with the County Council. Since this objection was received, the applicant has submitted an application to

Cambridgeshire County Council to divert the public footpath through the 'Landscape Walk' to the west of the site and the Definitive Map Team at Cambridgeshire County Council have subsequently withdrawn their objection, subject to a condition relating to a Public Rights of Way Scheme to be submitted to and approved by the Local Planning Authority prior to commencement of development in the interests of the amenity and safety of the public and this is recommended to be attached to any consent given to the application.

7.103 Therefore, subject to the condition, the development is considered to accord with LP14 and LP16 of the Huntingdonshire Local Plan to 2036 and would protect and enhance the public right of way in line with to paragraph 104 of the NPPF 2023.

Highway Safety, Parking Provision and Access

7.104 Policy LP17 of the Local Plan to 2036 seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles and service vehicles and incorporates adequate parking for vehicles and cycles. Paragraph 115 of the NPPF (2023) states that development should only be prevented or refused on Highway Safety Grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

7.105 The site is located on Spaldwick High Street and would take access from a repositioned access eastwards from the existing opening on to the north east of the site. It is noted that third-party objections have raised highway safety concerns regarding conflict between the application site and the proximity to both the service station to the north-east of the site and the slip-road from the A14 approximately 135m to the east. The entrance of the site sits just inside the speed limit change from 70mph to 30mph. Potential highway safety concerns are assessed in this section of the report, as are concerns that the development would conflict with the A14 improvements and that the proposal would be occupied by people who are car-reliant.

7.106 The Local Highway Authority has reviewed the proposals and note that proposal is for the development of 15 dwellings on the entrance to the village of Spaldwick. While the proposal would intensify the use of the site in terms of traffic, the vehicle movements associated with that proposed could not be considered as significant against the background flows and the flows from the A14 with peak time movements being circa 10 movements within the peak hours or 1 every 6 minutes. Therefore, capacity could not be considered an overriding issue that would warrant a refusal of the application in itself.

- 7.107 The Highways Officer also notes that the access is situated within the 30mph section of highway and 2.4m x 43m visibility splays have been indicated, which meets with criteria. The actual splays available are greater than those indicated with 2.4m x 176m towards the A14 and circa 2.4m x 88m towards the village. The submitted Transport Statement also indicates a road width of 5m footway width of 2m and radii of minimum of 6m which accords with adopted criteria for a development of this size, although it is indicated that the site will remain private. Pedestrian visibility is therefore provided and is acceptable. The Highways Officer noted that as the road is not proposed to be adopted the LPA should be satisfied that their operations team have no objections to that proposed. No objection has been received from Huntingdonshire District Council's Waste team.
- 7.108 The Highways Officer also notes that access geometry to the public highway is similar to many existing developments and is therefore acceptable. Furthermore, whilst the access is indicated to have acceptable visibility for the site access it has been reported by third-parties that HCV or HGV parking sometimes reaches the proposed site access, therefore blocking the available visibility which could cause highway safety impacts. The Cambridgeshire County Highways Officer accepts that recommendation of refusal on this possible issue cannot form a defensible reason for refusal as it forms part of the adopted highway and is not a designated parking area, but recommends that the applicant be requested for a section 106 contribution to protect the required splays which would be achieved by the implementation of parking restrictions (double yellow lines) from the site access to opposite the access of the service station.
- 7.109 As well as a legal agreement to safeguard parking restrictions, the Cambridgeshire County Highways Officer recommends a number of conditions to be appended to any consent given, including pre-commencement conditions relating to the future management and maintenance of the proposed streets within the development, that the crossing of the ditch / watercourse along the frontage of the site shall be constructed in accordance with a scheme to be submitted to and agreed in writing with the Local Planning Authority, visibility splays, that a route for all traffic associated with the construction of the development (or associated with the use of the site) has been provided and approved in writing to the satisfaction of the Local Planning Authority together with proposals to control and manage traffic using the agreed route and to ensure no other local roads are used by construction traffic (or site traffic).
- 7.110 Other prior to occupation and compliance conditions including access dimensions, access construction, that the proposed on-site parking / servicing and turning area shall be laid out, demarcated, levelled, surfaced and drained in accordance with the approved plan and thereafter retained for that specific use,

highway improvement works and requirement for a metalled surface are recommended and are considered necessary to ensure the proposal is acceptable in highway safety terms and are recommended to be appended to any consent given to the application.

- 7.111 While concerns have been raised regarding issues of highway safety, planning conditions cannot control drivers who fail to keep to national speed limits or wish to choose to cross a road at a certain point on the High Street, so cannot form a part of this assessment. Officers disagree that the proposal would make occupiers of the development reliant on vehicles, as a footway is provided to the north west of the site which would allow cycle users and pedestrians direct access to village services, including bus stops, restaurants and education.
- 7.112 Concerns raised regarding impact to and from the A14 (including the slip road) are noted. However, National Highways were consulted on the application and raised no significant concerns. Therefore, the impact to the A14 is considered acceptable.
- 7.113 Overall, with the inclusion of the above S106 contribution and the above conditions, it is considered by officers that the proposal has the capacity to demonstrate that the proposal would not result in an adverse impact upon the strategic transport network and would not have an adverse impact on highway safety. The proposal on balance accords with policies LP16 and LP17 of the Huntingdonshire's Local Plan to 2036 and Paragraph 115 of the NPPF (2023) in this regard.

Parking

- 7.114 Private car ownership generated from the proposal will be catered for via on plot parking in the form of driveways and cycle storage in the form of cycle stores. The parking provision for each dwelling is typically a minimum of 2 spaces per dwelling. There are no maximum or minimum parking standards that need to be applied to developments as per the requirements of the NPPF. It is shown on the submitted plans that adequate parking is provided on site (2 vehicle spaces per dwelling with covered cycle storage to accommodate one cycle per bedroom), having regard to the scale and nature of the proposed development. It is considered that there is sufficient parking space on the site to meet the requirements of LP16 & LP17 of the Local Plan to 2036.

Biodiversity

- 7.115 Policy LP30 of Huntingdonshire's Local Plan to 2036 requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated. Policy LP30 also requires development proposals to ensure no net loss

in biodiversity and provide a net gain in biodiversity where possible.

- 7.116 The application is supported by an Ecological Survey (ES) by AAE Environmental Consultants dated April 2022, alongside a Biodiversity (BNG) metric calculator and Biodiversity (BNG) Technical Note.
- 7.117 The submitted biodiversity information has been reviewed by Huntingdonshire's Ecology Officer, who raises no objections subject to planning conditions attached to any consent given requiring a Biodiversity Methods Statement to be submitted addressing how the recommendations detailed in the Ecology TN (submitted 13/10/2023) Discussion and Recommendations section are to be implemented, and a planning condition requiring the submission of a lighting plan to minimise light spillage and pollution that could negatively impact invertebrates, birds and bats. The lighting scheme will follow guidelines from the Bat Conservation Trust and ILP (Institute of Lighting Professionals) – Guidance Note 08/23: Bats and Artificial Lighting at Night: Appropriate luminaire specifications 4.29.
- 7.118 Subsequently, the Ecology Officer regards the Biodiversity Net Gain Assessment provided for the site demonstrates the proposal adheres to Local Plan Policy LP30 to ensure no net loss in biodiversity and provide net gain where possible through the planned retention, enhancement and creation of habitats and wildlife features, appropriate to the scale, type and location of development in explanatory paragraph 8.13 of the Local Plan.
- 7.119 Therefore, while local residents have raised concerns about the impact to local ecology, including bats, red kites and wild nested snipes, and the loss of trees onsite it is considered that habitat mitigation and enhancement is achievable on the site and therefore, subject to conditions, the proposed development is considered to accord with Policy LP30 of the Local Plan to 2036.

Impact on Trees

- 7.120 Policy LP31 of the Huntingdonshire Local Plan to 2036 requires proposals to demonstrate that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated and that a proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland, hedge or hedgerow of value that would be affected by the proposed development.
- 7.121 The site is bound by trees and hedgerows to the western boundaries, with sporadic trees to the eastern boundary and hedgerows to the southern boundary.

- 7.122 Huntingdonshire District Council's Tree Officer has reviewed the submitted Arboricultural information and notes that there are a number of trees on site, which while not impacted by the proposal will require protection during construction. As such, officers recommend a planning condition is attached in this regard and also advises a condition for arboricultural monitoring throughout construction.
- 7.123 As the existing boundary vegetation is a significant feature which would be integral to retaining some of the character and appearance of the site, particularly as the site is on the village edge abutting a Conservation Area, it is considered reasonable to secure a Tree Protection Plan and Tree Protection Monitoring details to ensure that the development does not harm any trees, shrubs and hedges to be retained on and adjacent to the Subject to these conditions, the proposal is considered to accord with Policy LP31 of the Huntingdonshire Local Plan to 2036 and paragraph 180 b) of the NPPF (2023) in this regard.
- 7.124 While some third party comments raise concerns about the removal of trees on site prior to submission of the application, it is noted that as the site is not in a conservation area nor includes any legally protected trees covered by a Tree Protection Order (TPO), the applicant is allowed to remove a tree without formal permission.

Open Space

- 7.125 Policy LP3 of the Local Plan states that a proposal will be expected to support green infrastructure and will therefore be supported where it demonstrates that it incorporates open/green space in accordance with the Council's Developer Contributions Supplementary Planning Document and improves the accessibility, naturalness and connectivity of green spaces including maintaining and where appropriate enhancing the rights of way network.
- 7.126 The Developer Contributions SPD points out at paragraph B1 that open spaces are an essential element in the delivery of sustainable communities. They not only contribute to the health and well-being of the area, but they are also essential to biodiversity and the delivery of a high-quality designed development.
- 7.127 In accordance With Policy LP3 of the Local Plan and the requirements of the Developer Contributions SPD 2011, the scheme would incorporate an area of informal green space located around the periphery of the site, but specifically to the western side of the site.
- 7.128 The proposed continuous open space provision to the western side of the site comprising the Green Buffer Zone and

Landscape Walk totals approximately 1,700 sqm, with the whole site providing approximately 3,000 sqm of amenity open space. As such, the proposed layout and landscaping matters propose an over provision of open space in comparison to the requirements of the Huntingdonshire Developer Contribution SPD which requires an overall area requirement of 696 sqm.

7.129 Overall, it is considered that the proposal would provide adequate amount of useable open space within the site. Accordingly, the proposal is considered to be acceptable in terms of open space and complies with the Council's requirements of the adopted Developer Contributions SPD (2011).

Accessible and Adaptable Homes

7.130 Policy LP25 of the Local Plan to 2036 states: A proposal that includes housing will be supported which meets the optional Building Regulation accessibility standards (or replacement standards) as set out below, unless it can be demonstrated that site-specific factors make achieving this impractical or unviable:

f. ensuring 100% of new dwellings, across all tenures provided, meet Building Regulation requirement M4(2) 'accessible and adaptable dwellings' (or replacement standards) unless it can be demonstrated that site specific factors make this unachievable.

7.131 The submitted Design and Access Statement confirms compliance with the requirements of Building Regulations Part M4(2). A condition is recommended to ensure that the development is built in accordance with these standards and that they are maintained for the life of the development.

Water Efficiency

7.132 Policy LP12 of the Local Plan to 2036 requires proposals that include housing to comply with the optional building regulation for water efficiency, as set out in Approved Document G.

7.133 The applicant has confirmed in a submitted Energy Strategy Statement accompanying the application that the proposed development has been designed in accordance with and will be built in accordance with the LP12 (j) standards. A condition is recommended to ensure that the development is built in accordance with these standards and that they are maintained for the life of the development.

Other Matters

Fire and Rescue

7.134 Cambridgeshire Fire and Rescue Service require the provision of fire hydrants; this can be secured through a planning condition.

Crime Prevention

7.135 The crime prevention design team have assessed the proposal in terms of community safety, crime, disorder and the fear of crime and have suggested external lighting, cycle parking and landscaping. While cycle parking and landscaping are considered elsewhere in this report, it is considered that lighting can be secured by condition.

Infrastructure Requirements and Section 106 Planning Obligations

7.136 The Infrastructure Business Plan 2013/2014 (2013) was developed by the Growth and Infrastructure Group of the Huntingdonshire Local Strategic Partnership. It helps to identify the infrastructure needs arising from development proposed to 2036 through the Core Strategy.

7.137 The CIL regs for S106 contributions sets out 3 statutory tests a planning obligation may only constitute a reason for granting planning permission for the development if the obligation is –

- (a) necessary to make the development acceptable in planning terms;
- (b) directly related to the development; and
- (c) fairly and reasonably related in scale and kind to the development.

7.138 In regard to highway safety, Cambridgeshire County Council's Highways team has advised that a contribution of £4,000 is required to protect the required visibility splays through the implementation of parking restrictions (double yellow lines) from the site access to opposite the access of the service station. The proposed contribution would ensure highway safety is maintained in accordance with policies LP16 and LP17 of the Huntingdonshire's Local Plan to 2036 and Paragraph 115 of the NPPF (2023) in this regard.

7.139 Officer's consider the required S106 contribution for double yellow lines to protect the required visibility splays is considered to be justified and CIL compliant.

-Wheeled Bins

7.140 Each dwelling will require the provision of wheeled bins. The current cost of such provision is £170 per dwelling and is to be secured through the S106 Agreement.

-Affordable Housing

7.141 The proposal is for 100% affordable housing comprising 15 dwellings, 7 of which meeting First Homes criteria, 2 would be Shared Ownership dwellings and 5 would be Affordable Rent. In

accordance with Policy LP24 of the Local Plan to 2036, the provision of 15 affordable homes will be secured by way of a S106 agreement.

-Green Space/Open Space Maintenance

7.142 The Developer Contributions SPD sets out maintenance rates for green space that will cover a fifteen-year period. Developer contributions in line with the final agreed provision of green space would be secured via a Section 106 Agreement. In accordance with the requirements of the Developer Contributions SPD, this would comprise either a commuted sum following the transfer of the Green Space to the Parish Council or the District Council, or the site will be maintained by a maintenance company that would be set up by the developer and funded through contributions from residents of the site (as per the cascade mechanism within the Developer Contributions SPD).

Community Infrastructure Levy (CIL)

7.143 The development would be CIL liable in accordance with the Council's adopted charging schedule; CIL payments would cover footpaths and access, health, community facilities, libraries and lifelong learning and education. However, given that the proposal is for 100% affordable housing, the Council would not seek CIL charge in this instance.

Third-party comments not addressed in previous sections

7.144 Comments have been raised by third parties regarding further development and availability of brownfield site/ loss of greenfield site as well as more appropriate sites within the district. The Local Planning Authority must consider the application as submitted and cannot assess potential/alternative development that has not been submitted.

Conclusion and Planning Balance

7.145 As outlined above, all planning applications should be determined in accordance with the development plan unless material considerations indicate otherwise.

7.146 This proposal for 15 dwellings comprising of a scheme of 100% affordable housing on a site outside of, but well-related to the built up area of Spaldwick. The National Planning Policy Framework and the Huntingdonshire Local Plan to 2036 seek development in the countryside only when it accords with strict criteria including the provision of affordable homes in sustainable locations such as Spaldwick. In this case, it is considered that the proposal as a whole meets the criteria set out in Local Plan Policies LP2 (Strategy for Development), LP5 (Flood Risk), LP9 (Small Settlements) LP10 (The Countryside) and LP28 (Rural

Exceptions Housing and so is considered acceptable in terms of principle of development.

- 7.147 The presumption in favour of sustainable development requires proposals to achieve economic, social and environmental gains; as such a balancing exercise must be undertaken to weigh the benefits of the scheme against its disadvantages.
- 7.148 In terms of the environmental dimension of sustainable development, it is acknowledged that a level of harm would occur through the less than substantial harm to the adjacent Spaldwick Conservation Area by virtue of its design layout and massing and so it is considered that there would be some conflict with Section 72 of the Planning (Listed Buildings and Conservation Areas) 1990 Act, The NPPF section 16, especially paragraphs 202-214 and Huntingdonshire Local Plan Policy LP34 (Heritage Assets). However, in line with the NPPF paragraph 208, which states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use. In this case, *while the proposal would have a degree of harm to the wider Spaldwick Conservation Area, it is considered that on balance, the public benefits of the scheme which include 100% affordable housing provision secured by a S106 agreement would outweigh the less than substantial harm to the setting of the Spaldwick Conservation Area and is therefore on balance acceptable.*
- 7.149 In terms of additional environmental benefits, the proposal delivers, through the biodiversity mitigation and enhancements, a development that is acceptable from a biodiversity perspective and provides additional landscaping. While concerns have been raised regarding flood risk, drainage and sewerage, technical consultees have confirmed that the proposal is acceptable, subject to conditions and it is considered that the proposal does not conflict with Local Plan Policies LP5 and LP15 in this regard.
- 7.150 In terms of the economic dimension of sustainable development, the proposal would contribute towards economic growth, including job creation - during the construction phase and in the longer term through the additional population assisting the local economy through spending on local services/facilities. There will also be additional Council Tax contributions arising from the development.
- 7.151 Regarding the social dimension, the development will deliver 100% affordable housing. There is a local and district wide identified need for affordable housing. This benefit should be afforded substantial weight in the planning balance.

7.152 Overall, having fully assessed all three dimensions of sustainable development; economic, social and environmental within this report it is concluded that the development of this site will:

- provide a supply of Affordable Housing to help meet the district's needs;
- have an acceptable impact on residential amenity;
- have an acceptable impact upon highway safety subject to a S106 contribution securing the provision of double-yellow lines on High Street and a footway.;
- promote healthy, active lifestyle through informal green space provision via a landscaped walk which includes a diverted public footway;
- maximise the available opportunities for use of public transport, walking and cycling to local facilities;
- manage flood risk and drainage effectively;
- have no significant adverse impacts on features of landscape or ecological value and will provide a net gain in biodiversity;

7.153 Having regard to all relevant material considerations, it is concluded that the proposal would contribute to the economic, social and environmental dimensions of sustainability. Whilst the proposal would result in a degree of environmental harm, there are benefits of the development which are given greater weight in this instance. It is therefore the view of Officers that the proposal has significant social benefits that outweigh the potential environmental harm. When assessed against the policies in the Local Plan and NPPF taken as a whole, it is recommended that planning permission be granted in this instance.

8. RECOMMENDATION - APPROVAL, to delegate the authority to officers to complete the signing of a S106 agreement and subject to conditions including the following:

- Time
- Drawings
- Materials
- Architectural Details
- Hard and Soft Landscaping (Pre-commencement)
- Ground Levels
- Unit 9 Windows
- External Lighting
- Public Rights of Way Scheme (Pre-commencement)

- Fire Hydrants
- Future Management and Maintenance Scheme (Pre-commencement)
- Access Width
- Cambridgeshire County Construction
- Highways Watercourse Scheme (Pre-commencement)
- On-site parking, servicing, loading and unloading
- Construction parking, turning, loading and unloading of all vehicles.
- Visibility Splays
- Access Junction Radius Kerbs
- Access Drainage
- Access road metalled surface 20m
- Traffic Route (Pre-commencement)
- Highways Improvement works
- Archaeological Written Scheme of Investigation (Pre-commencement)
- Surface Water Drainage (Pre-commencement)
- Surface Water Runoff Measures (Pre-commencement)
- Surface Water Drainage System Survey and Report
- Tree Protection Plan (Pre-commencement)
- Tree Protection Monitoring (Pre-commencement)
- Noise Mitigation Scheme (Pre-commencement)
- Construction Environmental Management Plan (Pre-commencement)
- Provision of a wet room/level access shower to Units 10, 11 and 12
- Biodiversity enhancements & Biodiversity Net Gain
- Water Efficiency
- M42 Compliance

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to **Marie Roseaman Senior Development Management Officer** – marie.roseaman@huntingdonshire.gov.uk

From: [Clerk](#)
To: [REDACTED]
Cc: [REDACTED]
Subject: FW: Planning Permission Consultation - Land East Of Ivy Way Spaldwick (ref 23/01948/FUL)
Date: 16 November 2023 23:53:01
Attachments: [We sent you safe versions of your files.msg](#)
[23-01948-FUL- 15 dwellings re-submission.pdf](#)

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

[REDACTED]

Following our Council meeting this evening, I can confirm that Spaldwick PC recommends refusal of Land East Of Ivy Way Spaldwick (ref 23/01948/FUL) on the following grounds: flood risk of the area (recent flooding, impact from the Ellington Brook & the ineffective valve, nearby ditches not regularly cleared, the natural downhill slope of the site and it being at the lowest point in the village), insufficient surface water storage for the proposed site, the unsuitable nature of the proposed mesh surface (in relation to clay surface and for an unadopted road), increase in vehicular traffic and highway safety, and the fact that it is outside the village boundary so contradicts the HDC Local Plan.

Thank you.
Kind regards

[REDACTED]
Clerk and RFO to Spaldwick Parish Council

Sent from [Mail](#) for Windows

From: Dmadmin@huntingdonshire.gov.uk

Sent: 23 October 2023 09:17

[REDACTED]
Subject: RE: Planning Permission Consultation - Land East Of Ivy Way Spaldwick (ref 23/01948/FUL)

Dear Parish Clerk,

Please find correspondence from Development Management at Huntingdonshire District Council attached to this email in relation to the following application for planning permission.

Proposal: Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL)

Site Address: Land East Of Ivy Way Spaldwick

Reference: 23/01948/FUL

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If you would prefer not to receive correspondence from us via email you have the right to opt out. If you wish to opt out please contact us at the address provided below so that we can remove your email details from our records.

Keeping safe on the internet

You should never open a file attached to an email when you do not trust the sender's authenticity.

We will only contact you via email when you have already contacted us in relation to this specific application (or one directly related to it) and provided your email address as a contact - we will not transfer your contact details between unrelated applications.

If you have any doubts or concerns relating to this email please contact us directly, our contact details are provided below.

Development Management
Huntingdonshire District Council

T: 01480 388388

E: dmadmin@huntingdonshire.gov.uk

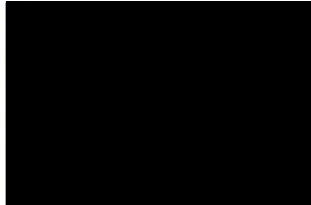
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Pathfinder House, St Mary's Street
Huntingdon. PE29 3TN
Developmentcontrol@huntingdonshire.gov.uk

01480 388424
www.huntingdonshire.gov.uk



Our Ref : 23/01948/FUL

23rd October 2023

Dear Clerk

**PARISH COUNCIL CONSULTATION – APPLICATION REF. 23/01948/FUL
Construction of 15 no. dwellings with associated access, car parking and landscaping (re-
submission of 23/00649/FUL)
Land East Of Ivy Way Spaldwick**

Enclosed is the form relating to the above application.

I would be grateful to receive any views your Council would wish to make in respect of the proposed development. Any representations made should be representations of the Parish Council as such and not of individuals and should include material planning reasons for any recommendation of approval or refusal.

Residential neighbours abutting the site will be notified of its submission and invited to make comments. I will suggest to them that they may wish to let you have a copy of their comments but would remind you that it is inappropriate to delay your recommendation for this.

I should be pleased to receive your Council's views as soon as possible or in any case by 13th November 2023.

Cont.....

Pathfinder House, St Mary's Street
Huntingdon. PE29 3TN
Developmentcontrol@huntingdonshire.gov.uk

01480 388424
www.huntingdonshire.gov.uk

Head of Planning Services
Pathfinder House
St. Mary's Street
Huntingdon
Cambridgeshire PE 29 3TN

Application Number: 23/01948/FUL Case Officer Marie Roseaman
Proposal: Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL)
Location: Land East Of Ivy Way Spaldwick
Observations of Spaldwick Town/Parish Council.

Please ✓ box as appropriate

Recommend **approval** because(please give relevant planning reasons in space below)

Recommend **refusal** because...(please give relevant planning reasons in space below)
Flood risk of the area (recent flooding, impact from Ellington Brook + the ineffective valve, nearby ditches not regularly cleared, the natural down hill slope of the site + it being at the lowest point in the village), insufficient surface water storage for the proposed site, the unsuitable nature of the proposed mesh (in relation to clay surface and for an unadopted road), increase in vehicular traffic and highway safety, and the fact it's outside the village boundary so contradicts the No observations either in favour or against the proposal. HDC Local Plan.

██████████ Clerk to Spaldwick Town/Parish Council. (For GDPR purposes please do not sign)

Date :

Failure to return this form within the time indicated will be taken as an indication that the Town or Parish Council do not express any opinion either for or against the application.

Please send response to email address below:-

Developmentcontrol@huntingdonshire.gov.uk

(Development Management)

The application including documents and plans, is also available to view from Huntingdonshire District Council's Web site at <http://www.huntingdonshire.gov.uk/developmentcontrol>
It is also possible to submit any comments you care to make direct from this site to this office. Alternatively, you may submit comments by post, email or fax. The quickest way to submit comments is by e-mail to developmentcontrol@huntingdonshire.gov.uk.

If you wish to discuss this matter further, please contact the team via email to [**developmentcontrol@huntingdonshire.gov.uk**](mailto:developmentcontrol@huntingdonshire.gov.uk).

Yours faithfully
Clara Kerr
Chief Planning Officer

Development Management Committee



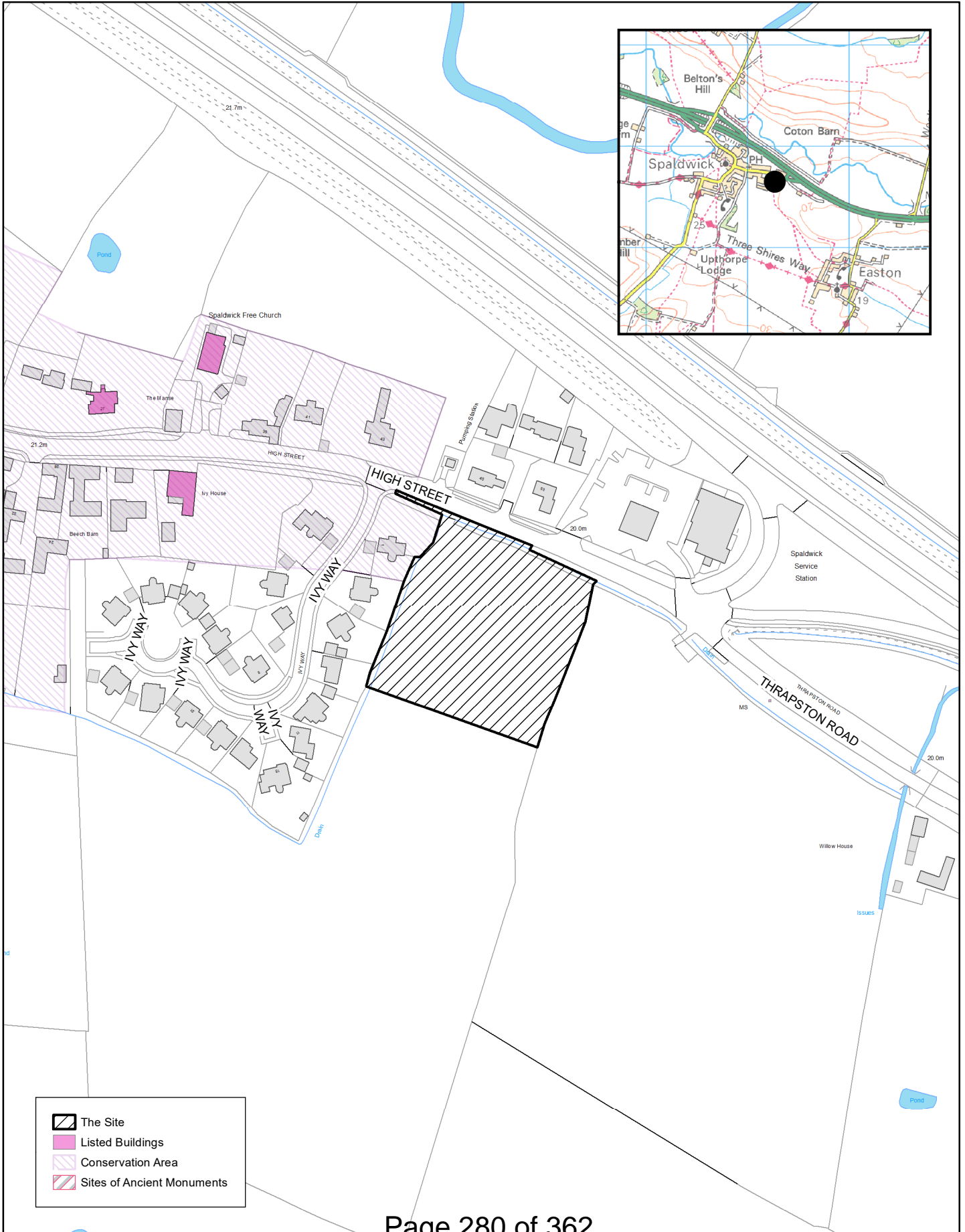
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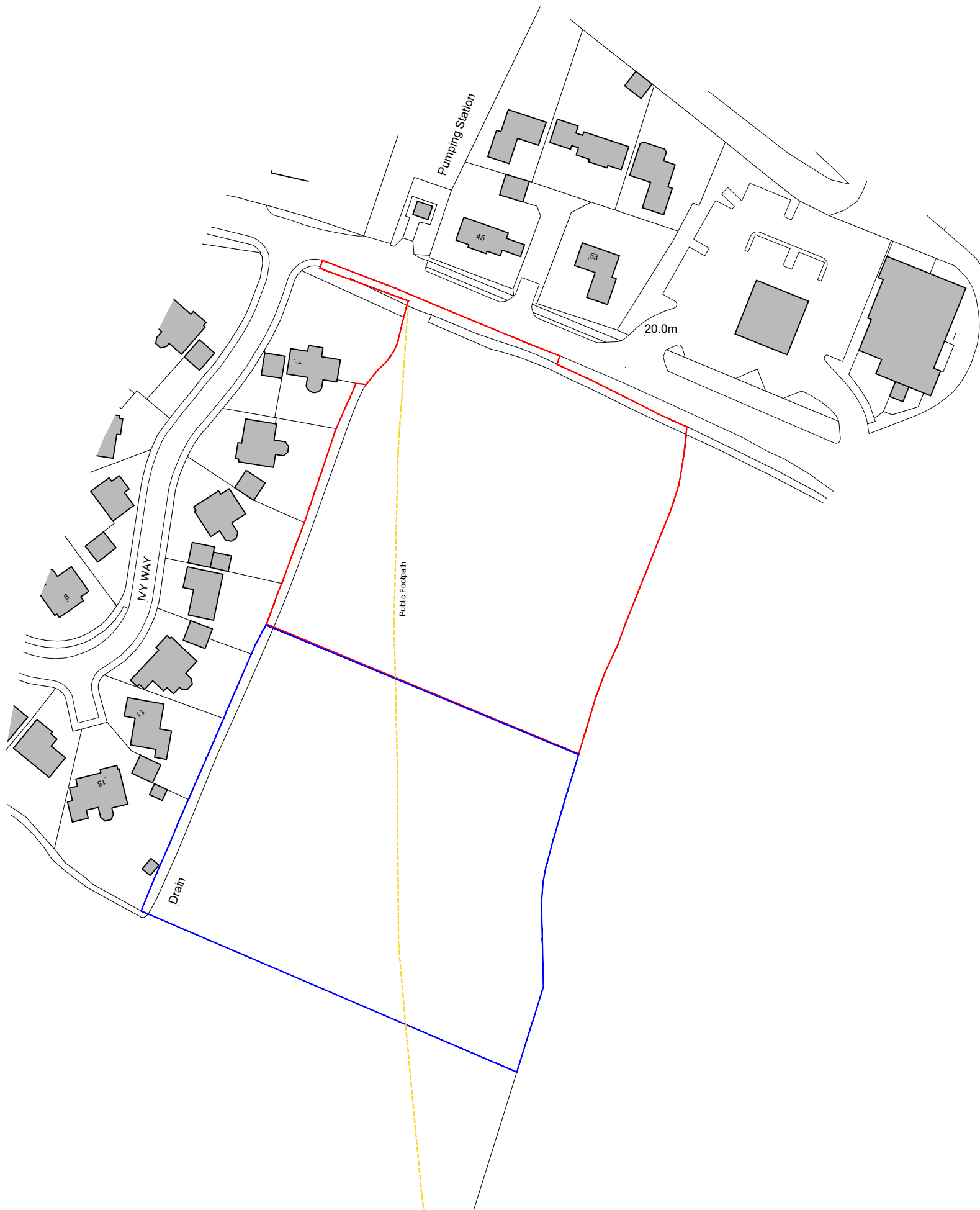
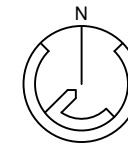
Application Ref:23/01948/FUL

Date Created: 09/04/2024

Location: Spaldwick

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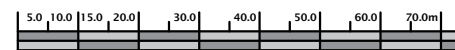


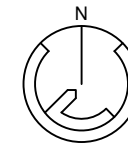


05	19.06.23	Red line updated
04	23.01.23	Overlay of PROW route
03	25.04.22	Issued for planning
02	19.04.22	Red line updated
01	19.04.22	Footpath added
00	27.01.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Site Location Plan	
DRAWING NUMBER: 0025-000	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:1250	PAPER SIZE: A3

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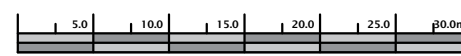


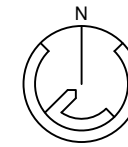


05	19.06.23	Red line updated
04	22.02.23	Issued for planning
03	25.04.22	Issued for planning
02	06.04.22	Layout Updated
01	07.02.22	Colour Added
00	03.02.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Existing Site Plan	
DRAWING NUMBER: 0025-010	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

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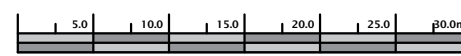




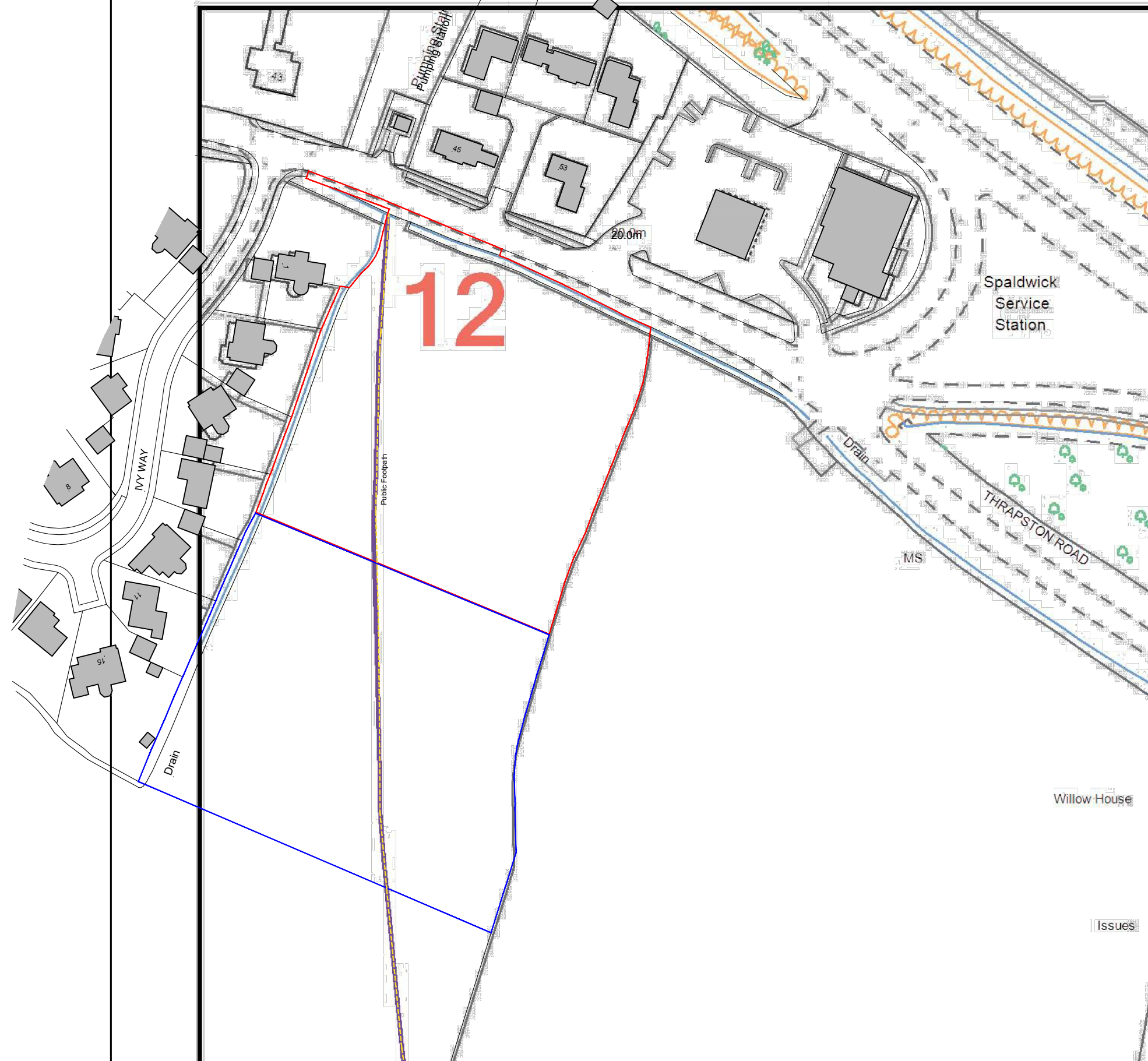
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04	22.02.23	Issued for planning
03	25.04.22	Issued for planning
02	06.04.22	Layout Updated
01	07.02.22	Colour Added
00	03.02.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Existing Site Plan	
DRAWING NUMBER: 0025-010	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

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Cambridgeshire County Council

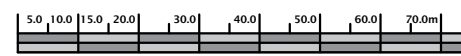


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REV:	DATE:	UPDATES:

DRAWING TITLE: Footpath Overlay	
DRAWING NUMBER: 0025-001	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:1250	PAPER SIZE: A3

Issues

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PLANTING SCHEDULE

Trees			
Species	Specification	Girth	Height
Acer campestre	Heavy Standard; 175cm Clear Stem, RB	14-16cm	3.5 - 4.0m
Alnus glutinosa	Heavy Standard; 175cm Clear Stem, RB	14-16cm	3.5 - 4.0m
Amelanchier lamarckii	Multi Stemmed; 3 Stems; RB	14-16cm	
Betula utilis jacquemontii	Multi Stemmed; 3 Stems; RB	14-16cm	
Carpinus betulus	Extra Heavy Standard; 200cm Clear Stem, RB	16-18cm	4.5 - 5.0m
Liquidambar styraciflua	Extra Heavy Standard; 200cm Clear Stem, RB	16-18cm	4.0 - 5.0m
Prunus avium	Heavy Standard; 175cm Clear Stem, RB	14-16cm	3.5 - 4.0m
Prunus cerasifera 'Nigra'	Extra Heavy Standard; 200cm Clear Stem, RB	12-14cm	3.0 - 3.5m

Shrubs				
Species	Specification	Height	Pot Size	Density
Choisya ternata	Bushy; 3/4 Breaks	30-40cm	3L	5/m ²
Cornus stolonifera 'Flaviramea'	Branched; 3/5 Breaks	40-60cm	3L	3/m ²
Lavandula angustifolia 'Hidcote'	Bushy; 3/4 Breaks	20-30cm	3L	5/m ²
Pachysandra terminalis 'Variegata'	Bushy; 2/3 Breaks	20-30cm	3L	4/m ²
Pyracantha 'Orange Glow'	Bushy; 3/4 Breaks	30-40cm	3L	4/m ²
Vinca minor	C. Bushy; 3/4 Breaks	20-30cm	3L	15/m ²

Species-rich Native Hedgerow					
Species	Specification	Height	Pot Size	Density	Mix
Acer campestre	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	10%
Cornus sanguinea	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	10%
Corylus avellana	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	15%
Ilex aquifolium	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	25%
Prunus spinosa	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	25%
Sambucus nigra	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	15%

Species within hedge mixes to be planted in groups of 5, 7 or 9 in double staggered row, 450mm between rows and 300mm between plants

Native Shrub Mix					
Species	Specification	Height	Pot Size	Density	Mix
Corylus avellana	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m ²	25%
Crataegus monogyna	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m ²	25%
Prunus spinosa	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m ²	20%
Viburnum lantana	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m ²	15%
Viburnum opulus	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m ²	15%

Species within shrub mixes to be planted in groups of 5, 7 or 9

Grass Mixes		
Type	Mix	Specification
Flowering Lawn	Emorsgate EL1 Flowering Lawn Mixture	Sown at 40kg / ha
Native Wildflower Grass Mix	Landlife Wildflowers LWXM Dual Purpose 70/30 Wildflower Meadow Mix	Sown at 40kg / ha

Bulb Mix		
Species	Density	Mix
Hyacinthoides non-scripta	10/m ²	20%
Narcissus 'Dutch Master'	10/m ²	40%
Tulipa 'Ballarina'	10/m ²	20%
Tulipa 'Spring Green'	10/m ²	20%

Species within bulb mixes to be planted randomly

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Scale 1:250 @ A1

Revisions

Rev.	Date	Summary
A	13.04.2022	Footway extended to Ivy Way
B	14.04.2022	Private drive surfacing amended
C	14.04.2022	Attenuation basin removed
D	19.04.2022	Planting amended to accommodate 5m access along western boundary
E	20.03.2023	Revised to new architects layout
F	23.03.2023	Revised to Urban Design Officers Comments

Based on architects drawing no. 230203-XR-0025-Proposed Site Plan

Key

- Site Boundary
- Existing Vegetation
- Proposed Trees
- Proposed Hedge
- Proposed Bulb Mix
- Proposed Shrub
- Proposed Flowering Lawn
- Proposed Native Wildflower Mix
- Proposed Shrub Mix
- 1.8m High Brick Wall
- 1.8m High Timber Closed Board Fence
- Tarmac Road / Footway - Highway to be porous as per Engineer's spec
- Block Paved Parking Bays / Private Drives - Drives to be porous as per Engineer's spec
- Gravel Footpath
- Buff Paving Slab Front Paths & Patios
- Non-Porous Private Drive - as per Engineer's spec

ES Landscape Planning Ltd. Studio 9, Oxford House, Cliftonville, Northampton NN1 5BE. Licence no. 10004628

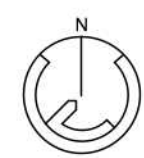
ES Landscape Planning Ltd. Studio 9, Oxford House, Cliftonville, Northampton NN1 5BE. Licence no. 10004628

ES LANDSCAPE PLANNING

Hard & Soft Landscape Plan

Blenheim Land & Homes Ltd

Drawing Ref: 10480L.HSLP.001 Rev. F
Date: Apr 2022 Drawn: GC Checked: AM



Key

Accommodation Schedule				
Number	Type	Bedrooms	GIA [m ²]	GIA [ft ²]
1	A2	2	83.6	899.9
2	A1	2	79.8	859.0
3	B1	3	96.6	1039.8
4	B1	3	96.6	1039.8
5	A1	2	79.8	859.0
6	A2	2	83.6	899.9
7	A1	2	79.8	859.0
8	A1	2	79.8	859.0
9	B1	3	96.6	1039.8
10	C2	2	62.0	667.4
11	C1	1	50.0	538.2
12	C2	2	62.0	667.4
13	A1	2	79.8	859.0
14	A1	2	79.8	859.0
15	B1	3	96.6	1039.8
Total GIA			1206.4	12985.7

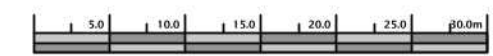
- Unit Type A1 | 2B | 4p
- Unit Type A2 | 2B | 4p
- Unit Type B1 | 3B | 5p
- Unit Type C1 | 1B | 2p [Bungalow]
- Unit Type C2 | 2B | 3p [Bungalow]
- Bin Store
- Cycle Store

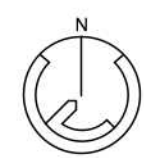
Site Area | 8,184m² | 2.02Acres | 0.81ha
 Density | 12.5u/ha | 6,459ft² per acre

07	09.11.23	Updated with LA highways comments
06	19.06.23	Red line updated
05	21.03.23	Issued for planning
04	21.02.23	Issued for planning
03	25.01.23	Updated to revised layout
02	25.04.22	Issued for planning
01	06.04.22	Issued for information
00	17.03.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan Drainage	
DRAWING NUMBER: 0025-101	REVISION: 07
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS





Key

Accommodation Schedule				
Number	Type	Bedrooms	GIA [m ²]	GIA [ft ²]
1	A2	2	83.6	899.9
2	A1	2	79.8	859.0
3	B1	3	96.6	1039.8
4	B1	3	96.6	1039.8
5	A1	2	79.8	859.0
6	A2	2	83.6	899.9
7	A1	2	79.8	859.0
8	A1	2	79.8	859.0
9	B1	3	96.6	1039.8
10	C2	2	62.0	667.4
11	C1	1	50.0	538.2
12	C2	2	62.0	667.4
13	A1	2	79.8	859.0
14	A1	2	79.8	859.0
15	B1	3	96.6	1039.8
Total GIA			1206.4	12985.7

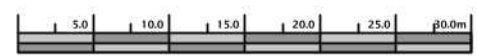
- Unit Type A1 | 2B | 4p
- Unit Type A2 | 2B | 4p
- Unit Type B1 | 3B | 5p
- Unit Type C1 | 1B | 2p [Bungalow]
- Unit Type C2 | 2B | 3p [Bungalow]
- Bin Store
- Cycle Store

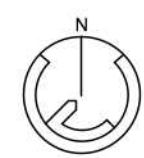
Site Area | 8,184m² | 2.02Acres | 0.81ha
 Density | 12.5u/ha | 6,459ft² per acre

18	09.11.23	Updated with LA highways comments
17	19.06.23	Red line updated
16	21.03.23	Issued for planning
15	21.02.23	Issued for planning
14	08.02.23	Layout updated with UD officer comments
13	25.01.23	Shared surface updated in line with CCC design guide
12	25.01.23	Dimensions added to South & East boundaries
11	23.01.23	Alterations further to discussions with LPA
10	19.01.23	Tenure shown
09	16.01.23	Layout reduced to 15 units
08	06.09.22	Dropped kerb note added to eastern side of site access
07	25.04.22	Issued for planning
06	06.04.22	Issued for information
05	18.03.22	Issued for information
04	10.03.22	Distance to top of drainage ditches added
03	28.02.22	RPA added to drawing
02	22.02.22	Updated with drainage information
01	03.02.22	Updated with survey information
00	28.01.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan	
DRAWING NUMBER: 0025-100	REVISION: 18
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS





Key

Accommodation Schedule				
Number	Type	Bedrooms	GIA [m ²]	GIA [ft ²]
1	A2	2	83.6	899.9
2	A1	2	79.8	859.0
3	B1	3	96.6	1039.8
4	B1	3	96.6	1039.8
5	A1	2	79.8	859.0
6	A2	2	83.6	899.9
7	A1	2	79.8	859.0
8	A1	2	79.8	859.0
9	B1	3	96.6	1039.8
10	C2	2	62.0	667.4
11	C1	1	50.0	538.2
12	C2	2	62.0	667.4
13	A1	2	79.8	859.0
14	A1	2	79.8	859.0
15	B1	3	96.6	1039.8
Total GIA			1206.4	12985.7

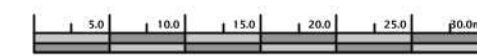
- Unit Type A1 | 2B | 4p
- Unit Type A2 | 2B | 4p
- Unit Type B1 | 3B | 5p
- Unit Type C1 | 1B | 2p [Bungalow]
- Unit Type C2 | 2B | 3p [Bungalow]
- Bin Store
- Cycle Store

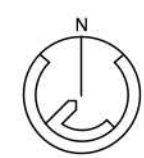
Site Area | 8,184m² | 2.02Acres | 0.81ha
 Density | 12.5u/ha | 6,459ft² per acre

06	09.11.23	Updated with LA highways comments
05	19.06.23	Red line updated
04	21.03.23	Issued for planning
03	21.02.23	Issued for planning
02	25.04.22	Issued for planning
01	06.04.22	Issued for information
00	18.03.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan Trees	
DRAWING NUMBER: 0025-102	REVISION: 06
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS





Key

Accommodation Schedule				
Number	Type	Bedrooms	GIA [m ²]	GIA [ft ²]
1	A2	2	83.6	899.9
2	A1	2	79.8	859.0
3	B1	3	96.6	1039.8
4	B1	3	96.6	1039.8
5	A1	2	79.8	859.0
6	A2	2	83.6	899.9
7	A1	2	79.8	859.0
8	A1	2	79.8	859.0
9	B1	3	96.6	1039.8
10	C2	2	62.0	667.4
11	C1	1	50.0	538.2
12	C2	2	62.0	667.4
13	A1	2	79.8	859.0
14	A1	2	79.8	859.0
15	B1	3	96.6	1039.8
Total GIA			1206.4	12985.7

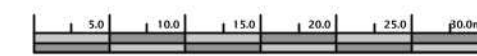
- Unit Type A1 | 2B | 4p
- Unit Type A2 | 2B | 4p
- Unit Type B1 | 3B | 5p
- Unit Type C1 | 1B | 2p [Bungalow]
- Unit Type C2 | 2B | 3p [Bungalow]
- Bin Store
- Cycle Store

Site Area | 8,184m² | 2.02Acres | 0.81ha
 Density | 12.5u/ha | 6,459ft² per acre

04	09.11.23	Updated with LA highways comments
03	19.06.23	Red line updated
02	21.03.23	Issued for planning
01	21.02.23	Issued for planning
00	06.06.22	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan Dimensions	
DRAWING NUMBER: 0025-103	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS





Key

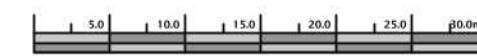
Accommodation Schedule				
Number	Type	Bedrooms	GIA [m ²]	GIA [ft ²]
1	A2	2	83.6	899.9
2	A1	2	79.8	859.0
3	B1	3	96.6	1039.8
4	B1	3	96.6	1039.8
5	A1	2	79.8	859.0
6	A2	2	83.6	899.9
7	A1	2	79.8	859.0
8	A1	2	79.8	859.0
9	B1	3	96.6	1039.8
10	C2	2	62.0	667.4
11	C1	1	50.0	538.2
12	C2	2	62.0	667.4
13	A1	2	79.8	859.0
14	A1	2	79.8	859.0
15	B1	3	96.6	1039.8
Total GIA			1206.4	12985.7

- Affordable Rent
- Shared Ownership
- First Home



02	09.11.23	Updated with LA highways comments
01	19.06.23	Red line updated
00	30.03.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan Tenure	
DRAWING NUMBER: 0025-104	REVISION: 02
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	





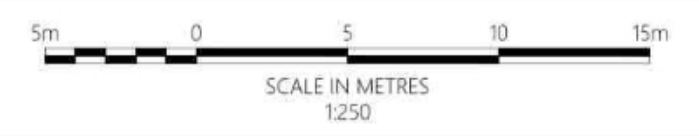
INDICATIVE

45

53



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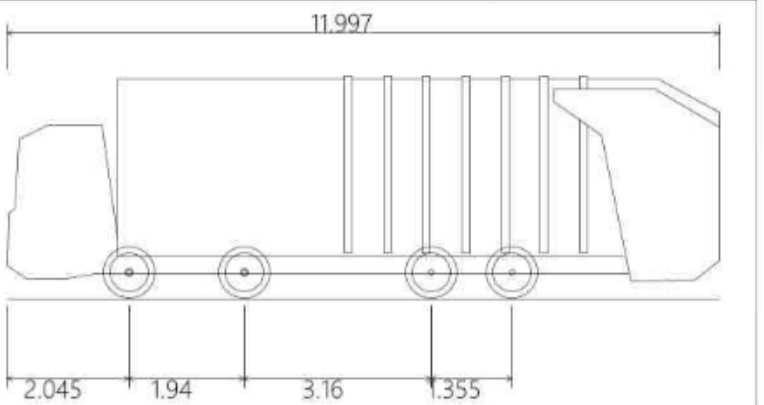
45

53



High Street, Spaldwick - Swept-Path
Analysis of Refuse Vehicle

1:250 @ A1
Rev A



Vulture 3025(N) (with Scania P94GB 8x4 NB300 chassis)	11.997m
Overall Length	11.997m
Overall Width	2.500m
Overall Body Height	3.749m
Min Body Ground Clearance	0.302m
Track Width	2.490m
Lock to lock time	4.00%
Kerb to Kerb Turning Radius	10.800m

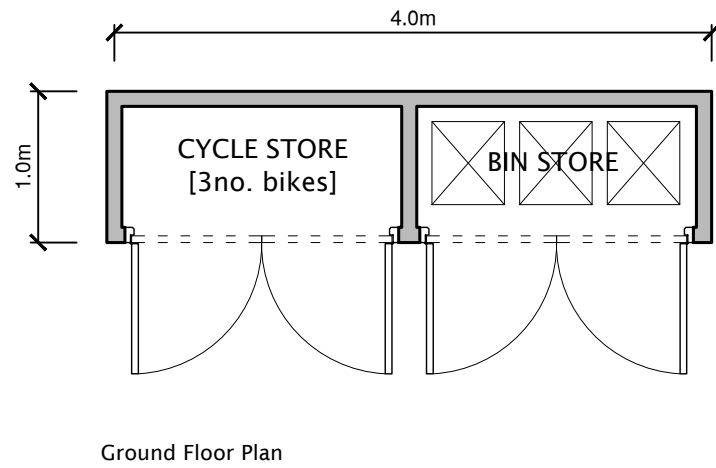
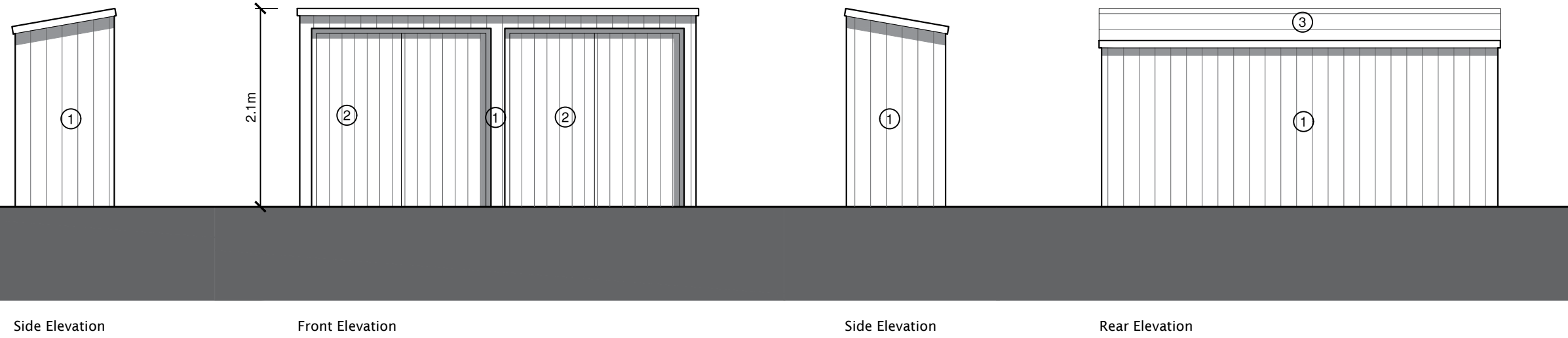


Key

- A Category Trees & Groups
- C Category Trees & Groups
- B Category Trees & Groups
- U Unsuitable for Retention Category Trees & Groups
- Hedgerows
- Root Protection Areas (RPA)

RJ Tree Services Ltd
 27 Main Street
 Foxton
 Leic's
 LE16 7RB
 07765792719
 info@rjtreasureservices.co.uk

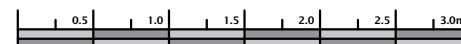
Tree Survey & Constraints Plan 02	
TITLE	
Land off High Street, Spaldwick, Cambs, PE28 0TD	
SIZE	For: Blenheim Land and Homes Ltd
A1	
SCALE	Issue date: April 2022
1:300	



- MATERIAL KEY**
1. Vertical timber cladding
 2. Timber doors
 3. Felt roof

00	23.02.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Bin & Bike Store Plan & Elevations	
DRAWING NUMBER: 0025-120	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:50	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	





Street Elevation 01

Page 294 of 362



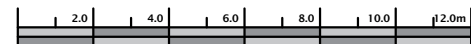
Street Elevation 02

KEY

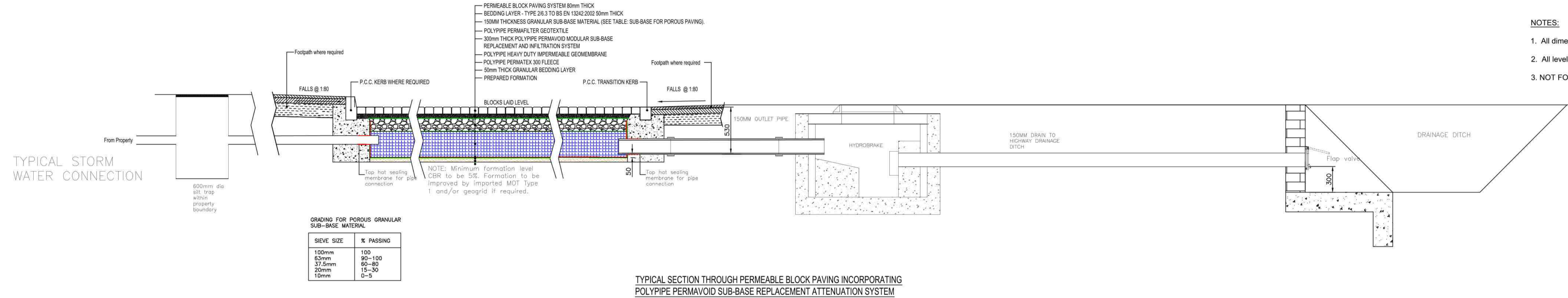


02	22.02.23	Issued for planning
01	25.04.22	Issued for planning
00	18.03.22	Issued for information
REV:	DATE:	UPDATES:

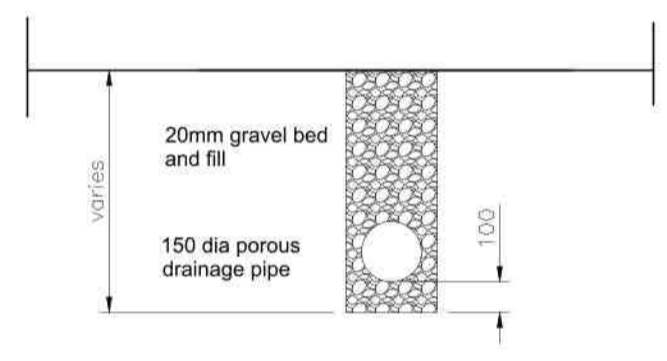
DRAWING TITLE: Proposed Street Elevations	
DRAWING NUMBER: 0025-300	REVISION: 02
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:200	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	



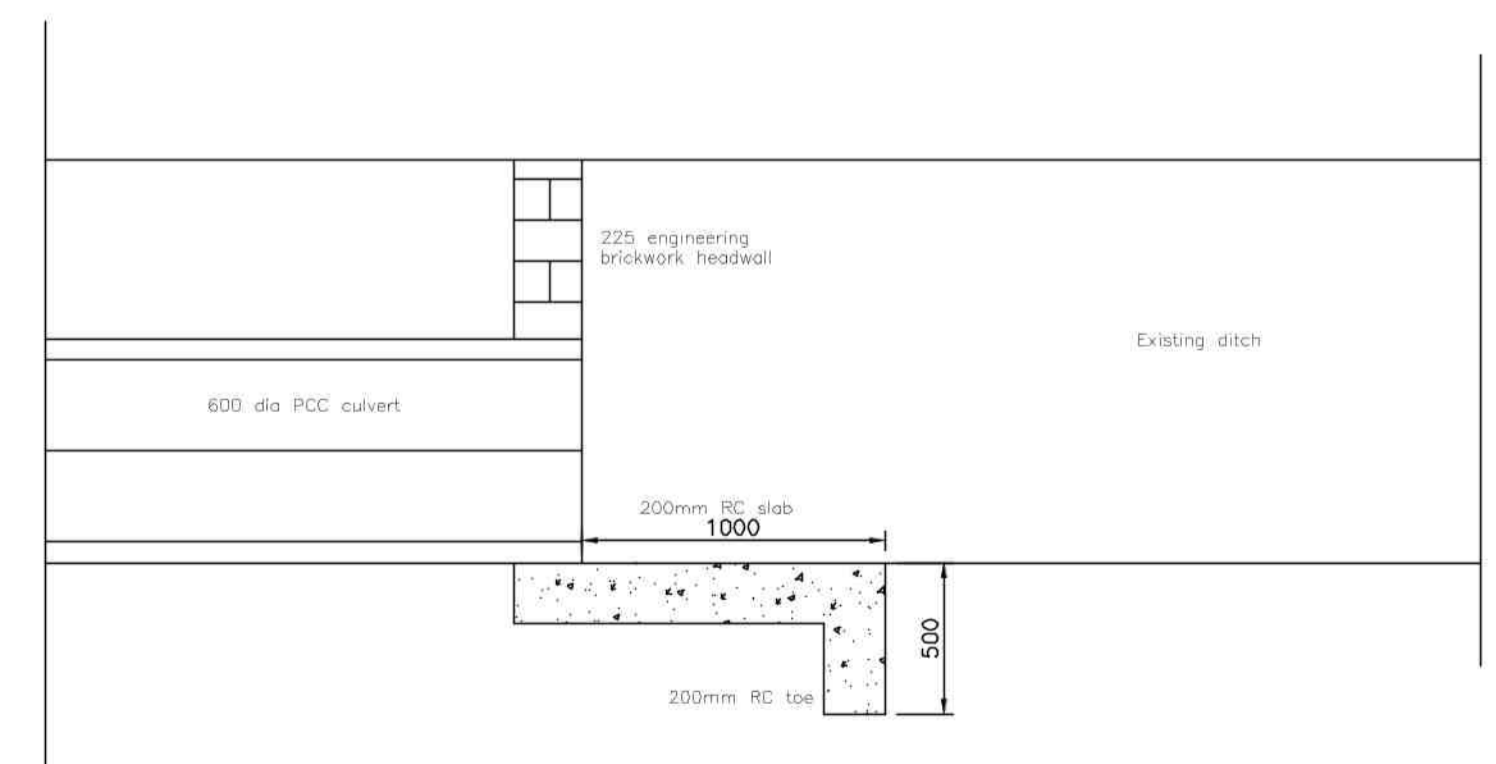
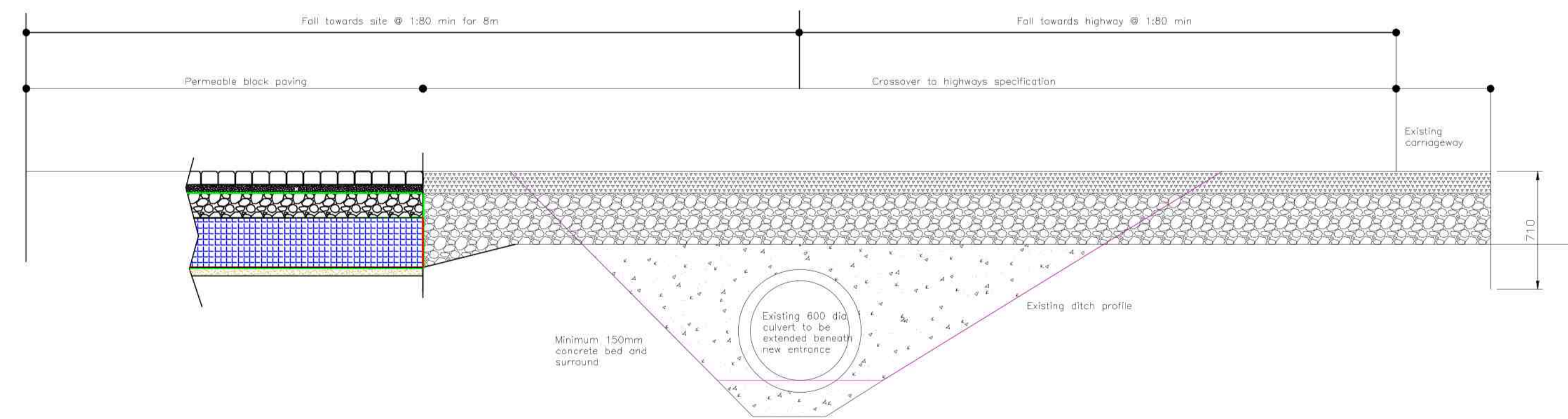
DRAWING STATUS						
For Approval						
DESCRIPTION	REV.	DATE	DR'N	CHK'D	APP'D	
ORIGINAL ISSUE	O	1/4/22	SW	SW	SW	
Revised	A	14/4/22	SW	SW	SW	
Revised	B	4/10/22	SW	SW	SW	
Revised	C	30/5/23	SW	SW	SW	
Revised	D	14/6/23	SW	SW	SW	
Revised	E	25/7/23	SW	SW	SW	
Drainage note added	F	9/8/23	SW	SW	SW	



- NOTES:
- All dimensions are in mm unless otherwise stated
 - All levels are in m AOD
 - NOT FOR CONSTRUCTION



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DETAIL OF CROSSING OF ROADWAY OVER EXISTING DITCH

DETAIL OF PROPOSED HEADWALL

FENLAND HYDROTECH
 11, Old Dry Lane
 Brigstock,
 KETTERING,
 NORTHAMPTONSHIRE,
 NN14 3JF
 TEL - 01832 734612
 WEB - www.fenhydro.co.uk

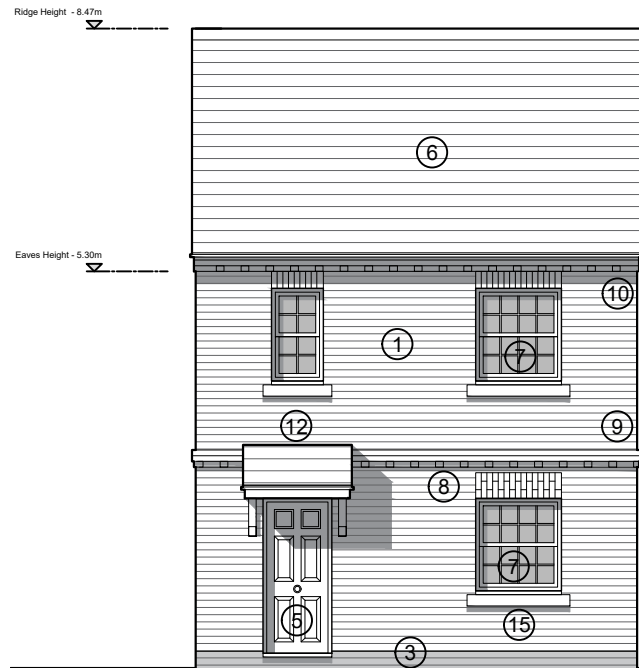
CLIENT
 Blenheim Land and Homes Ltd

PROJECT
 Proposed Residential Development
 Land adjacent to Ivy Way, Spaldwick

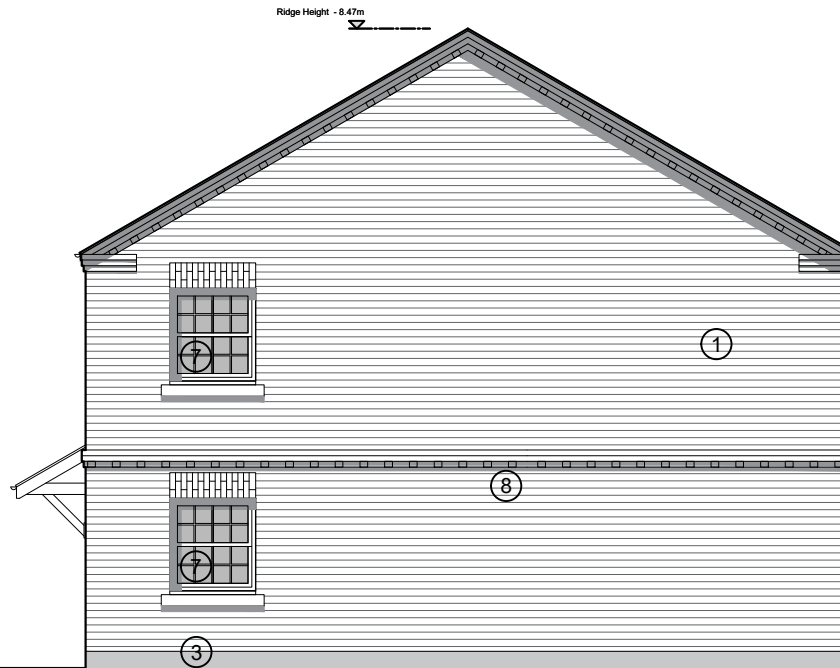
TITLE
 Drainage details

DRAWING SIZE A1	CONTRACT No.
SCALE/S 1:25	DRAWING No. FH1537/P/102
	REV. F

- Material Key**
1. Red brick
 2. Buff brick
 3. Painted brick (Black)
 4. Render
 5. Composite front door
 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
 9. Brick string course
 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill

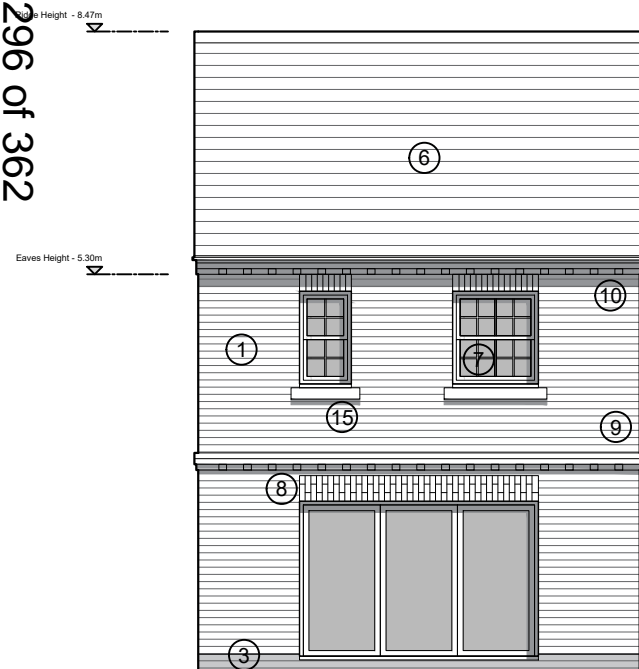


Front Elevation

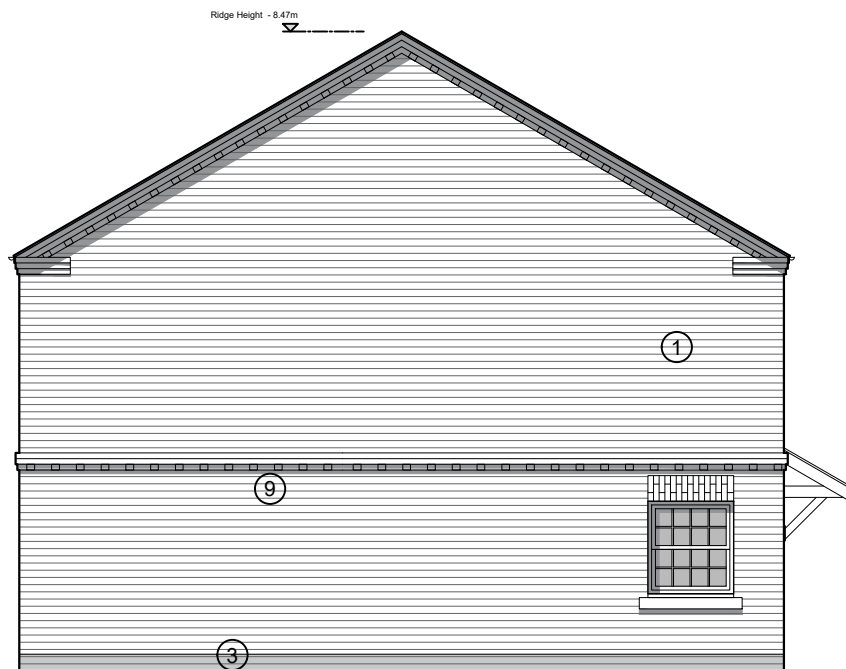


Side Elevation

Page 296 of 362



Rear Elevation

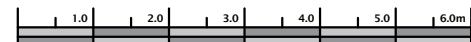


Side Elevation

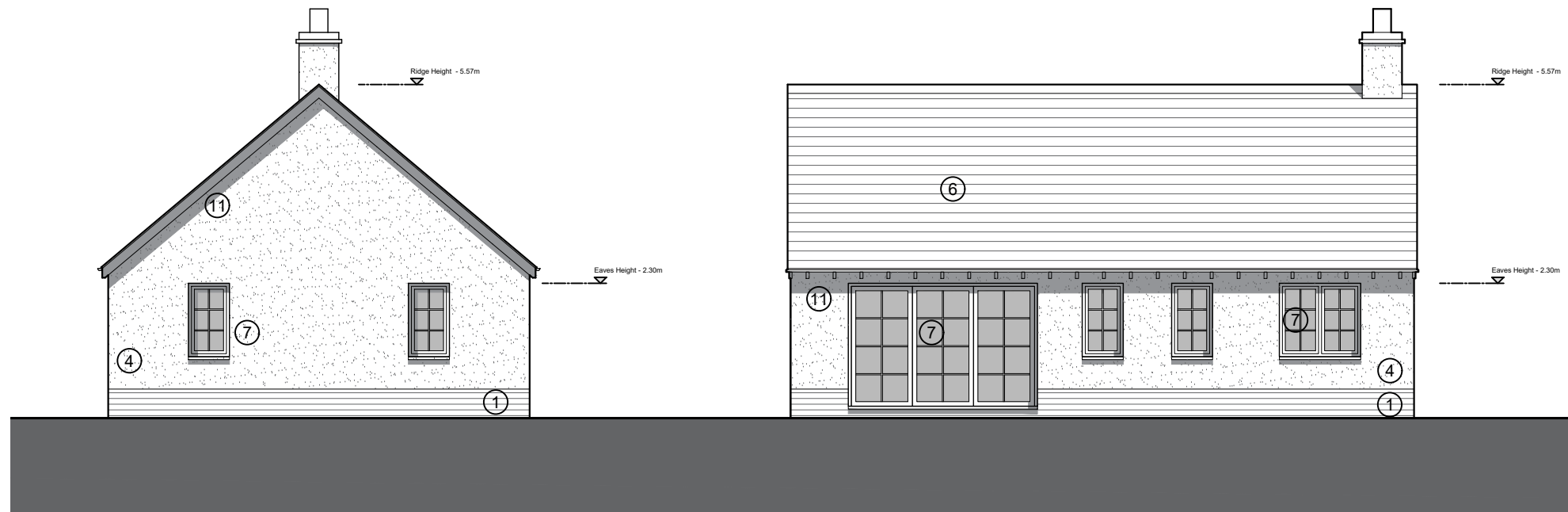
00	22.02.23	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Unit 9 Elevations	
DRAWING NUMBER: 0025-328	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS

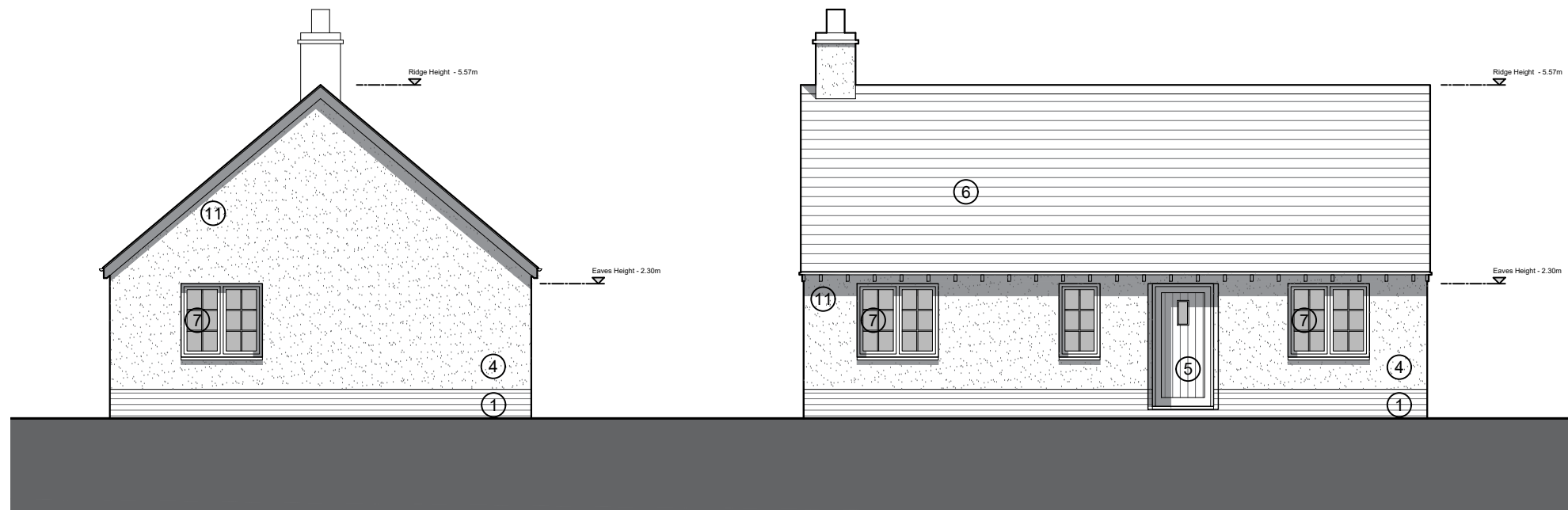


- Material Key**
1. Red brick
 2. Buff brick
 3. Painted brick (Black)
 4. Render
 5. Composite front door
 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
 9. Brick string course
 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



Side Elevation

Rear Elevation

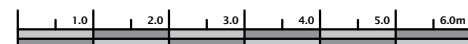


Side Elevation

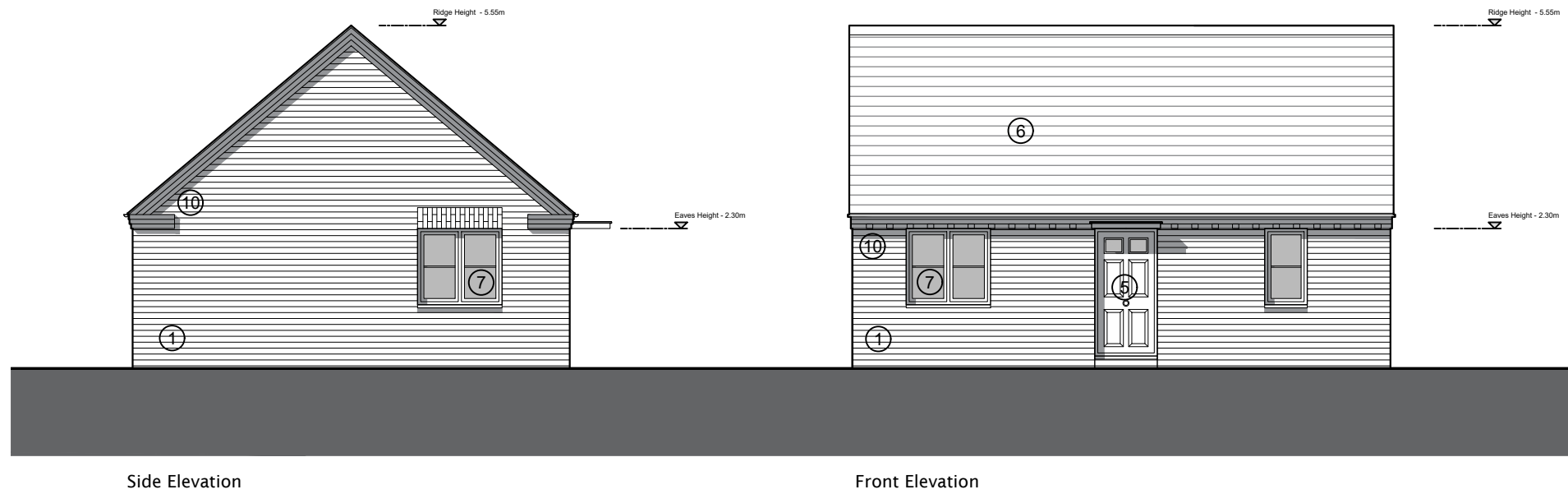
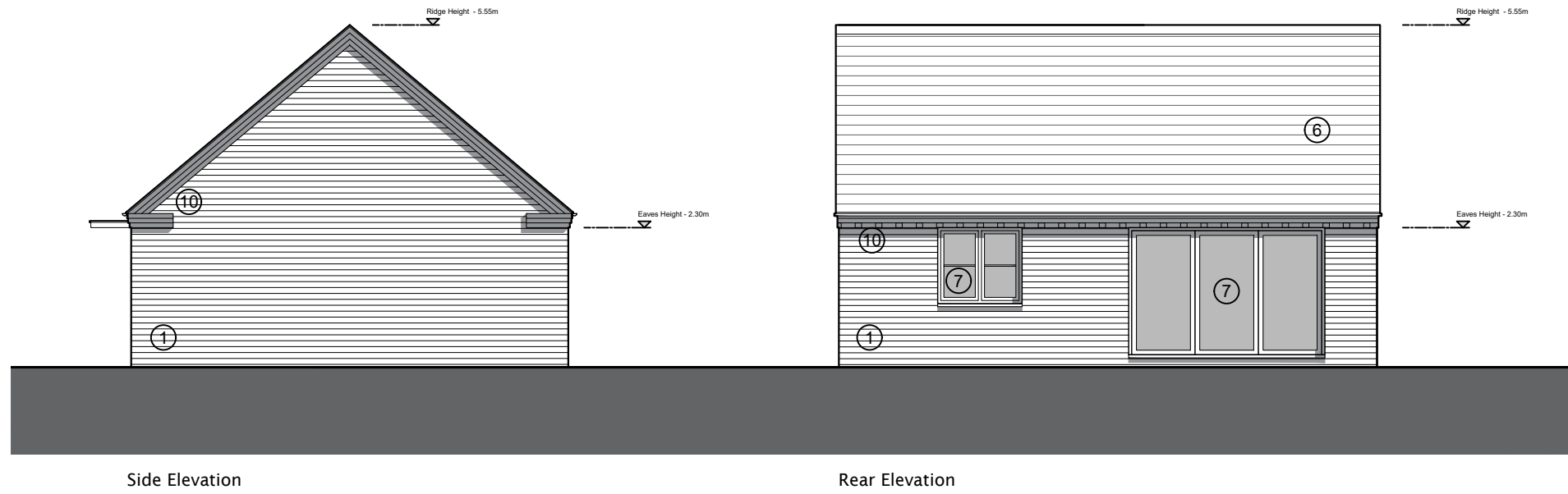
Front Elevation

04	21.02.23	Unit number and type changed
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.02	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Unit 10 Elevations	
DRAWING NUMBER: 0025-317	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	

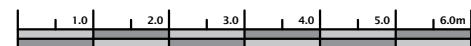


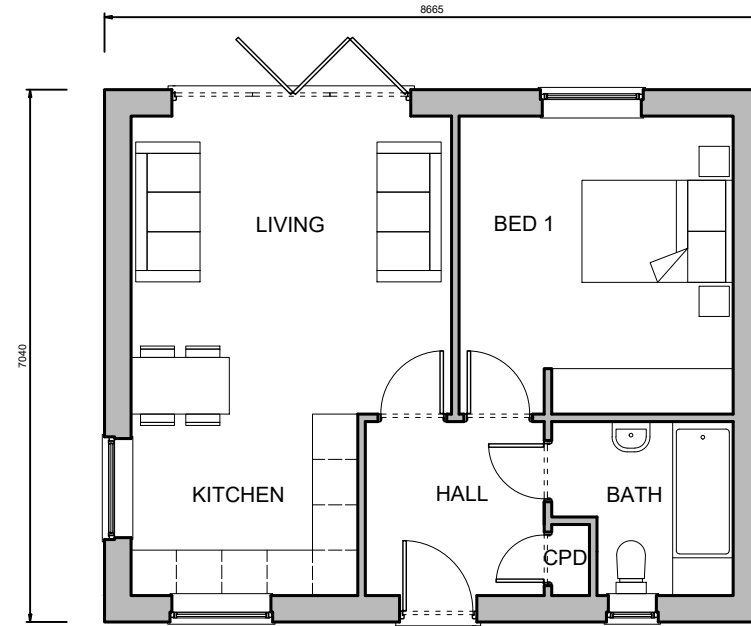
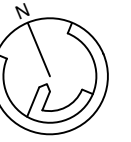
- Material Key**
1. Red brick
 2. Buff brick
 3. Painted brick (Black)
 4. Render
 5. Composite front door
 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
 9. Brick string course
 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.02	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Unit 11 Elevations	
DRAWING NUMBER: 0025-318	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	

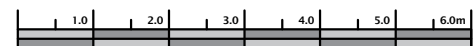




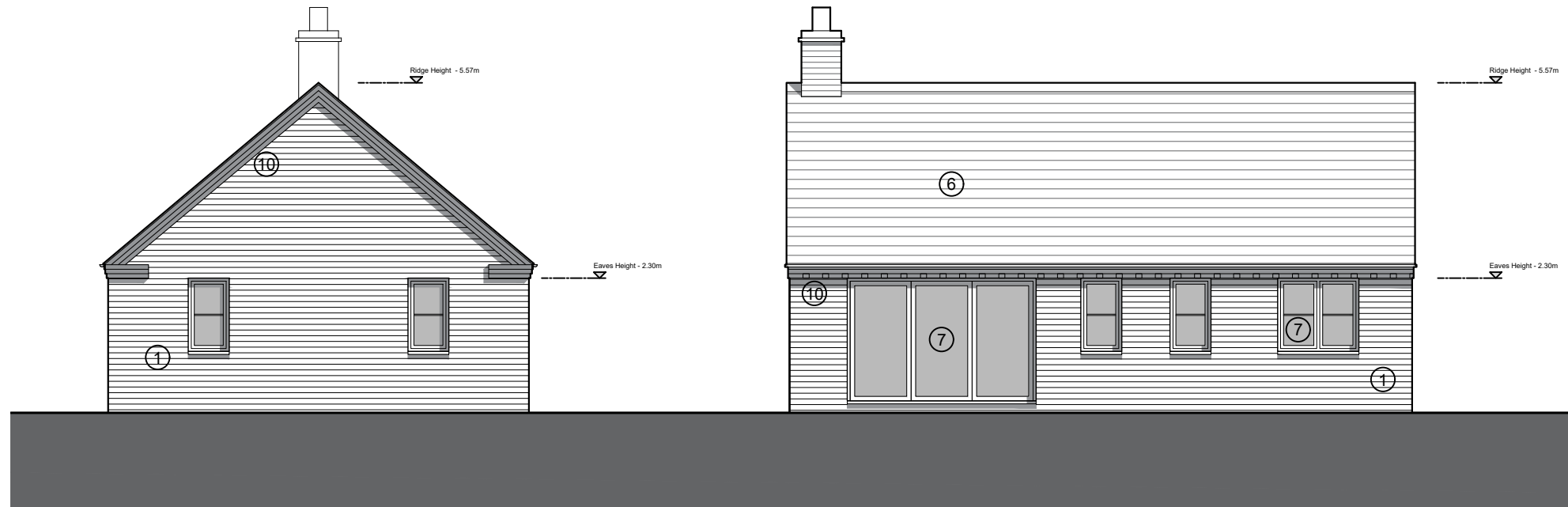
Ground Floor Plan (Bungalow)

00	21.02.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Unit 11 Floor Plans	
DRAWING NUMBER: 0025-118	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	

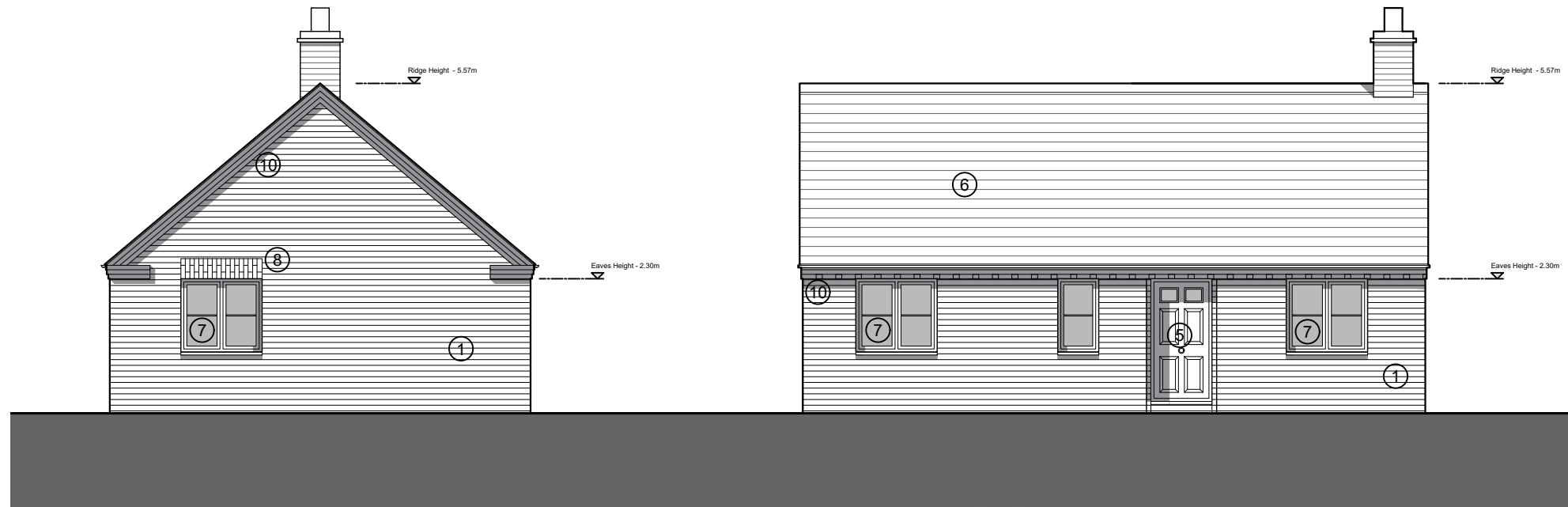


- Material Key**
1. Red brick
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 4. Render
 5. Composite front door
 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
 9. Brick string course
 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



Side Elevation

Rear Elevation



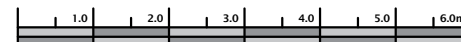
Side Elevation

Front Elevation

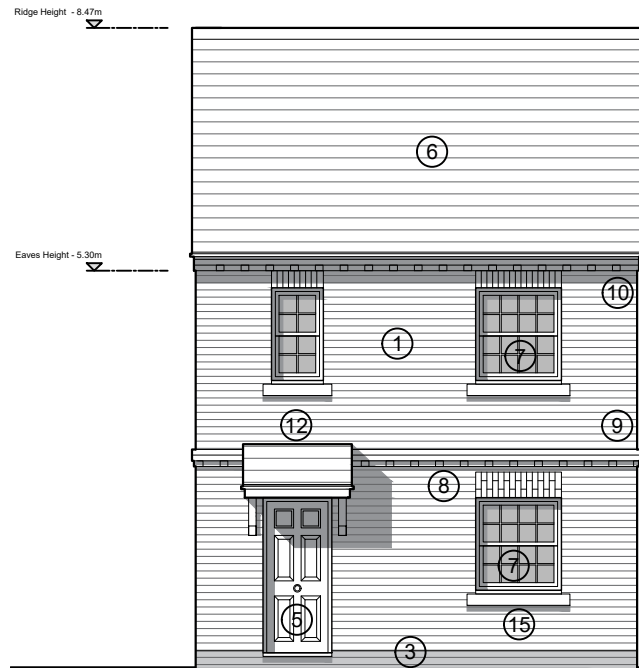
00	21.02.23	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Unit 12 Elevations	
DRAWING NUMBER: 0025-327	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3

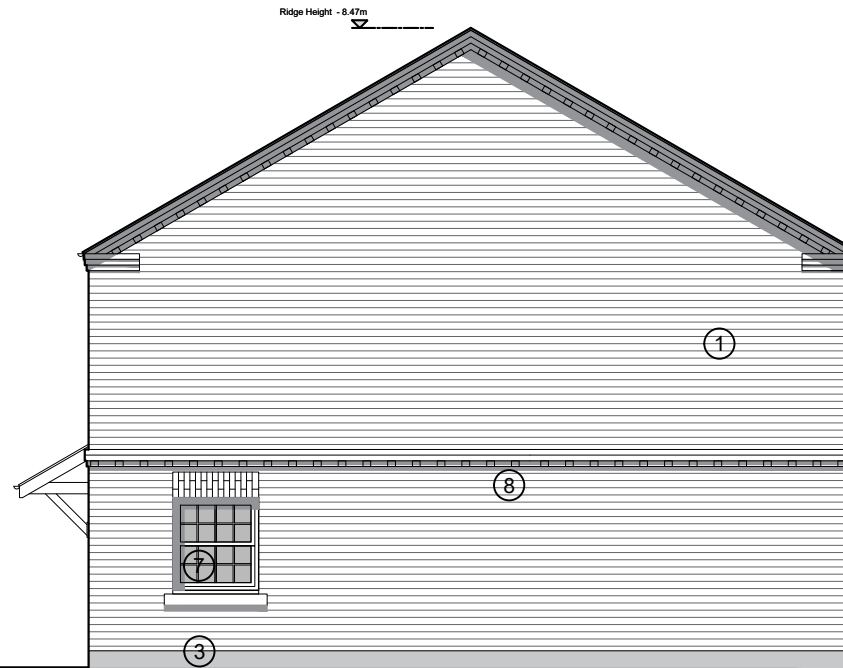
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS



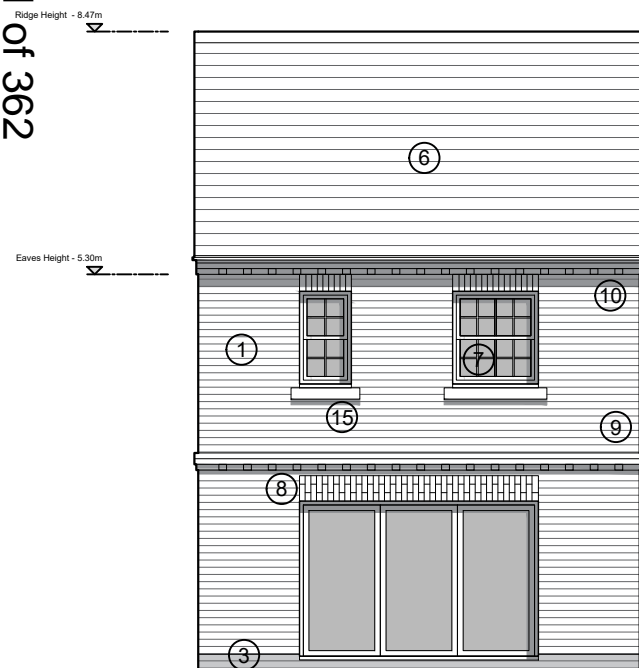
- Material Key**
1. Red brick
 2. Buff brick
 3. Painted brick (Black)
 4. Render
 5. Composite front door
 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
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 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



Front Elevation



Side Elevation



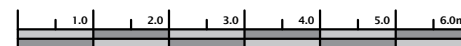
Rear Elevation

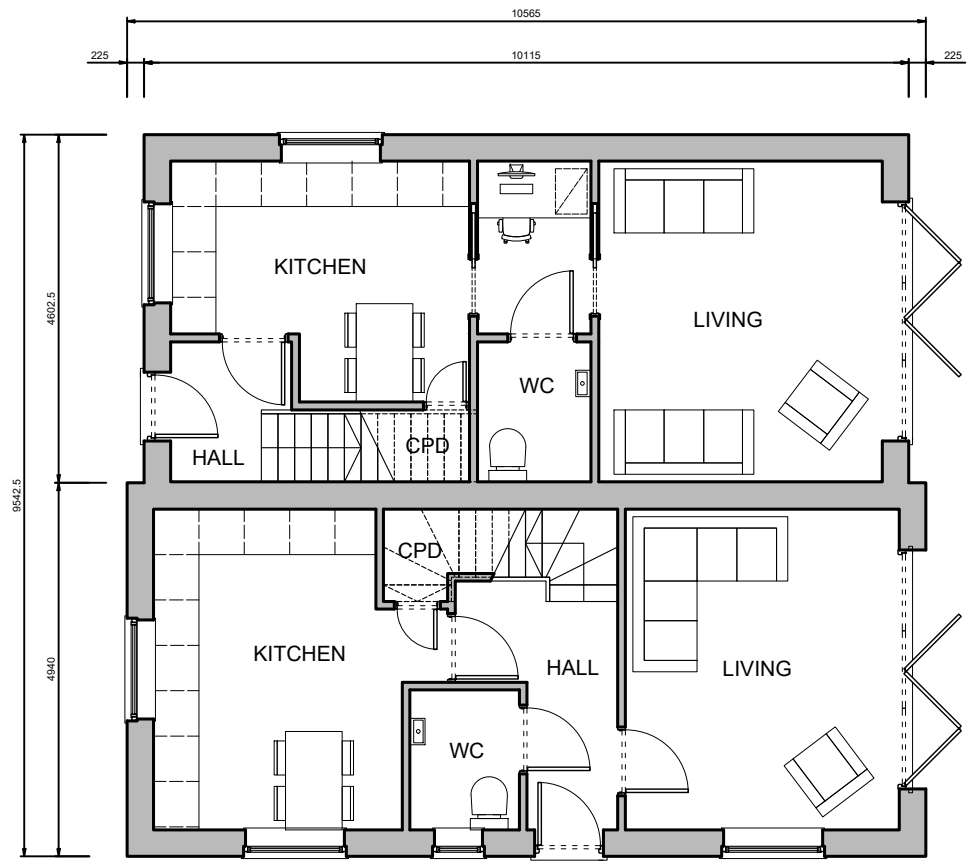
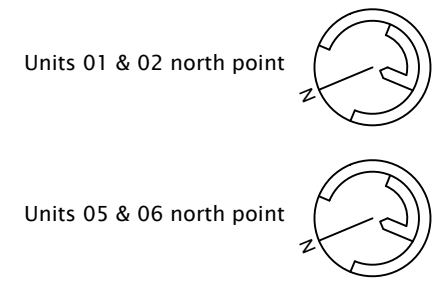


Side Elevation

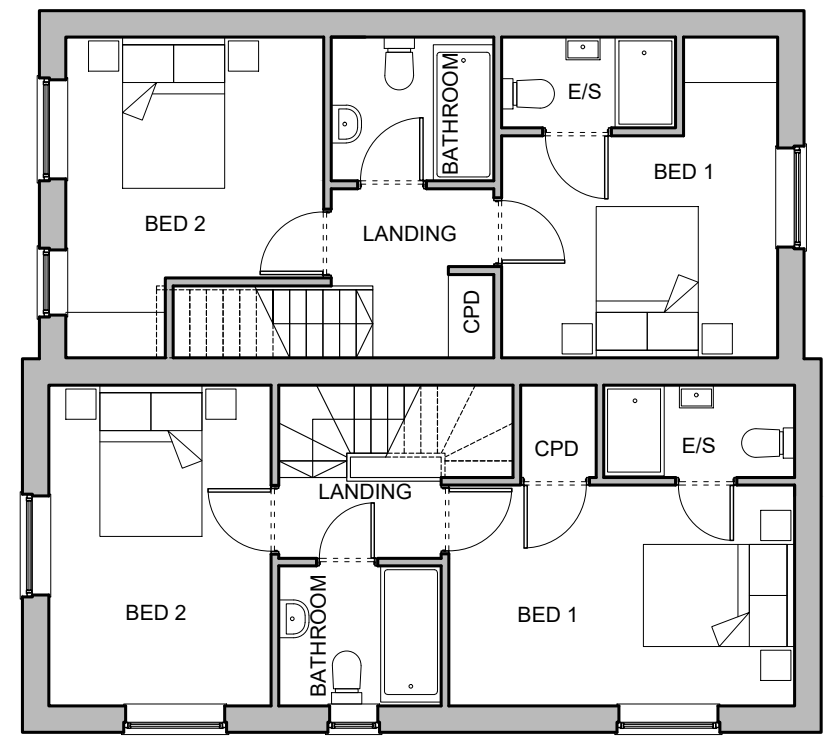
REV:	DATE:	UPDATES:
04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.02	Issued for information

DRAWING TITLE: Unit 15 Elevations	
DRAWING NUMBER: 0025-314	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	





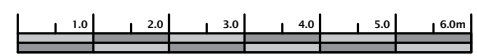
Ground Floor Plan
(Units 5 & 6 mirrored)



First Floor Plan
(Units 5 & 6 mirrored)

04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.22	Issued for information
REV:	DATE:	UPDATES:

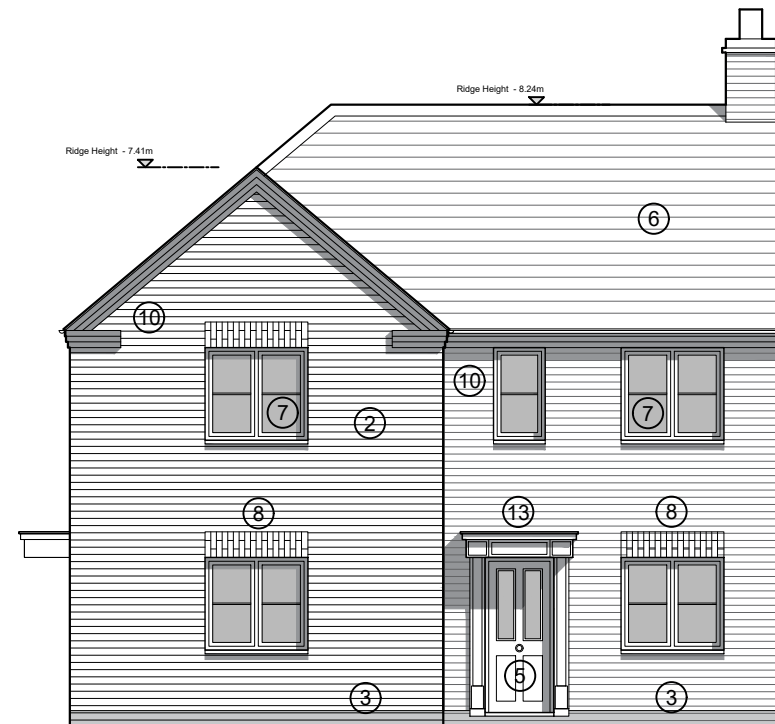
DRAWING TITLE: Units 01, 02, 05 & 06 Floor Plans	
DRAWING NUMBER: 0025-111	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
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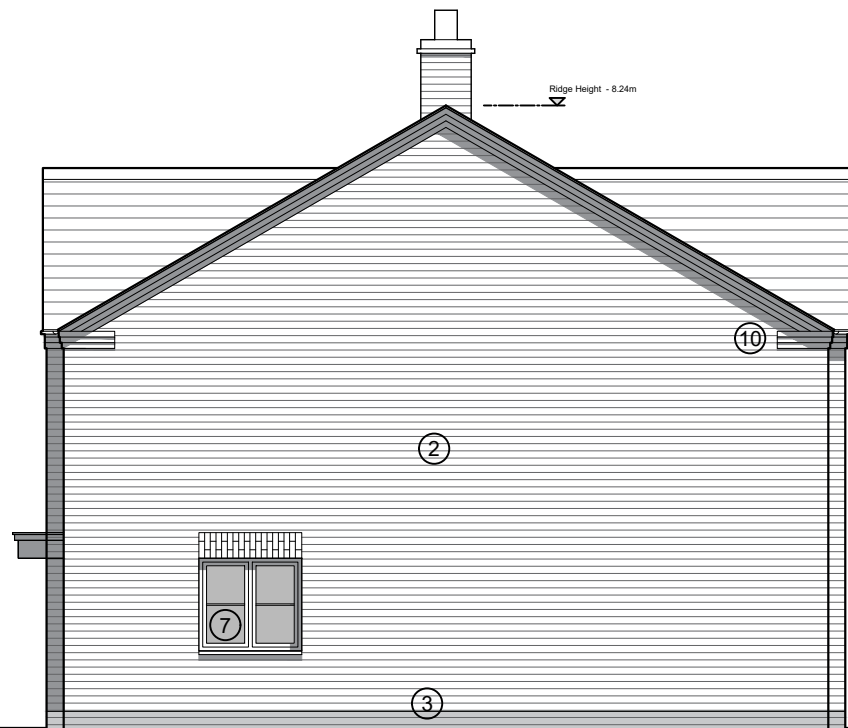
- Material Key**
1. Red brick
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 7. Coloured UPVC windows & doors
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 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



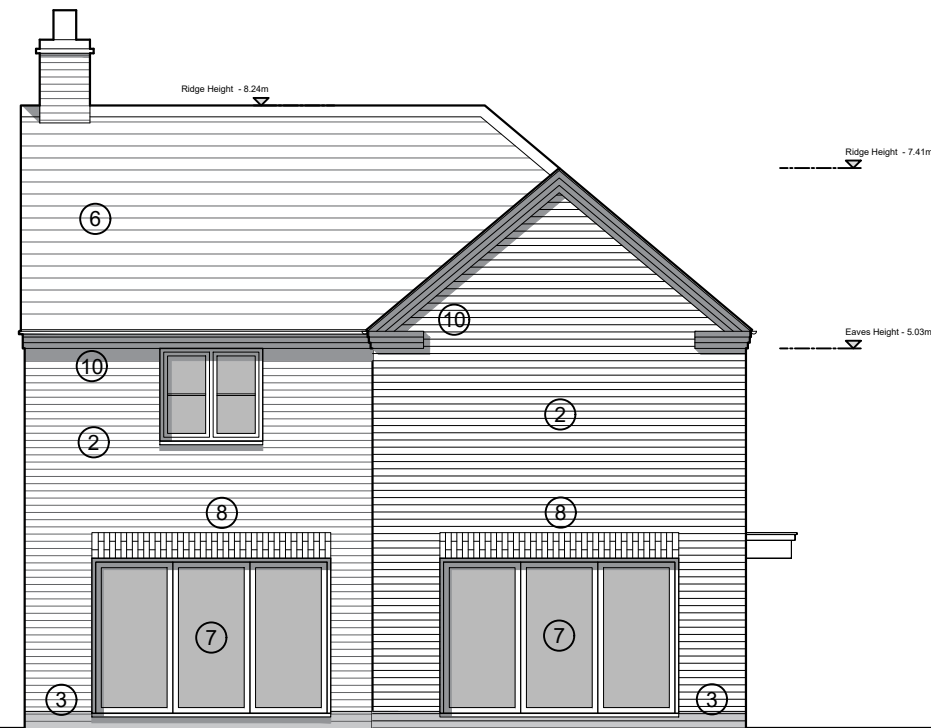
Front Elevation



Side Elevation



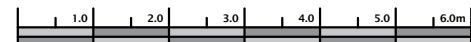
Rear Elevation

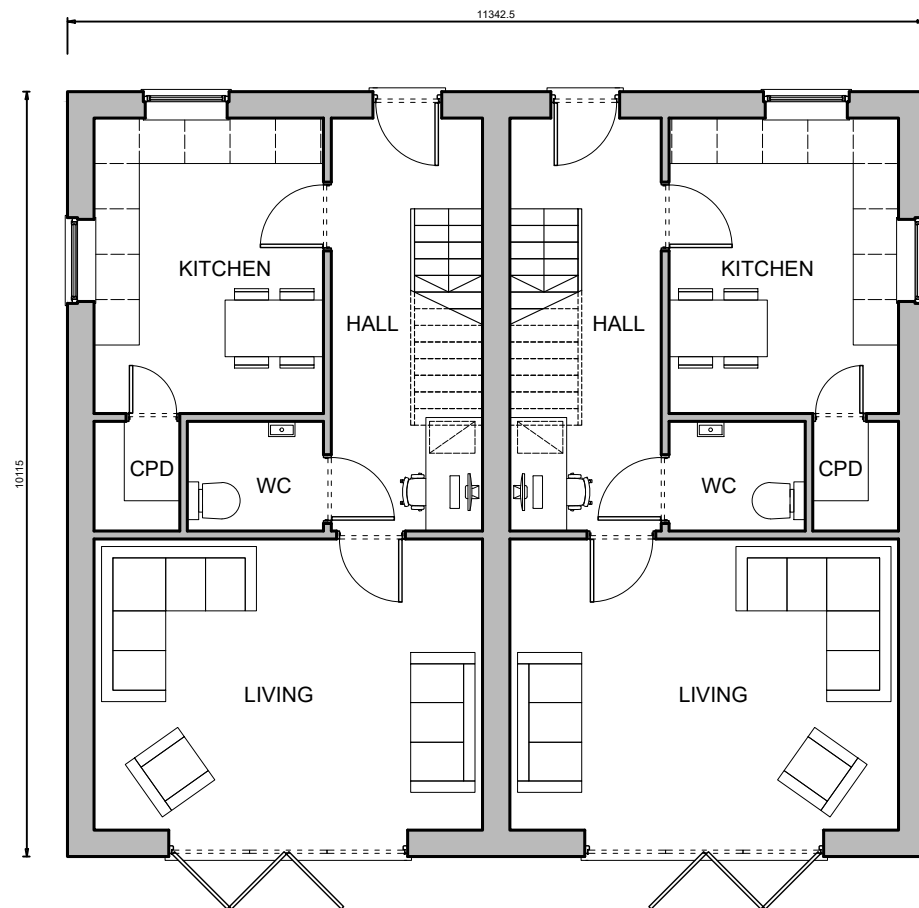
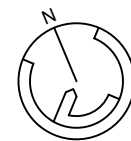


Side Elevation

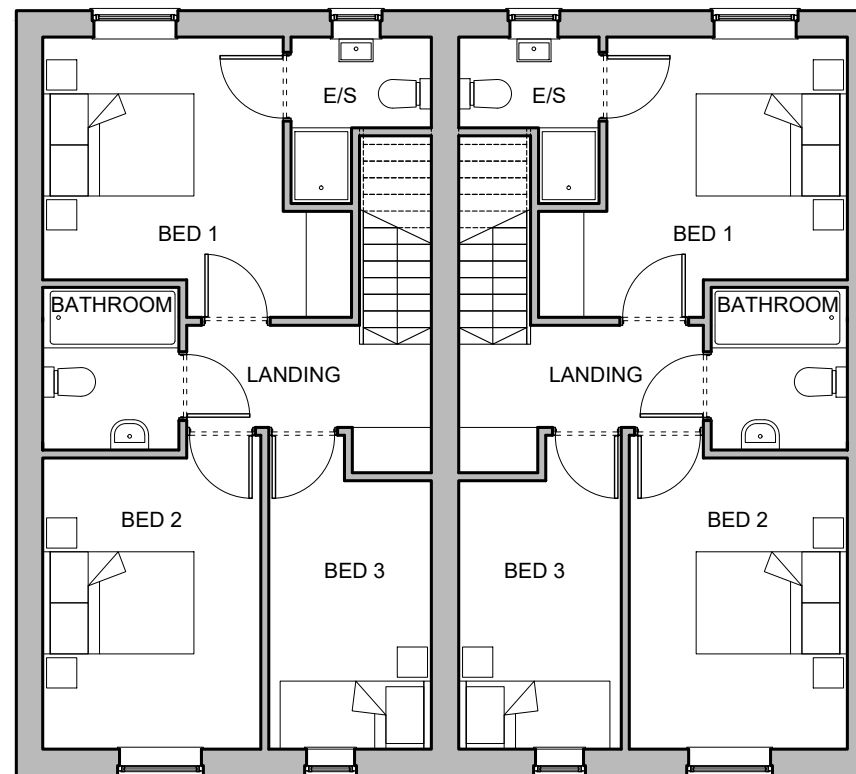
05	21.02.23	Issued for planning
04	06.06.22	Dimensions added
03	25.04.22	Issued for planning
02	18.03.22	Issued for information
01	03.02.02	Issued for information
00	27.01.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Units 01 & 02 Elevations	
DRAWING NUMBER: 0025-311	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
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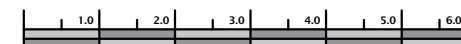
Ground Floor Plan



First Floor Plan

06	21.02.23	Issued for planning
05	06.06.22	Dimensions added
04	25.04.22	Issued for planning
03	18.03.22	Issued for information
02	03.02.22	Issued for information
01	27.01.22	Updated with changes to elevations
00	21.01.22	Issued for information
REV:	DATE:	UPDATES:

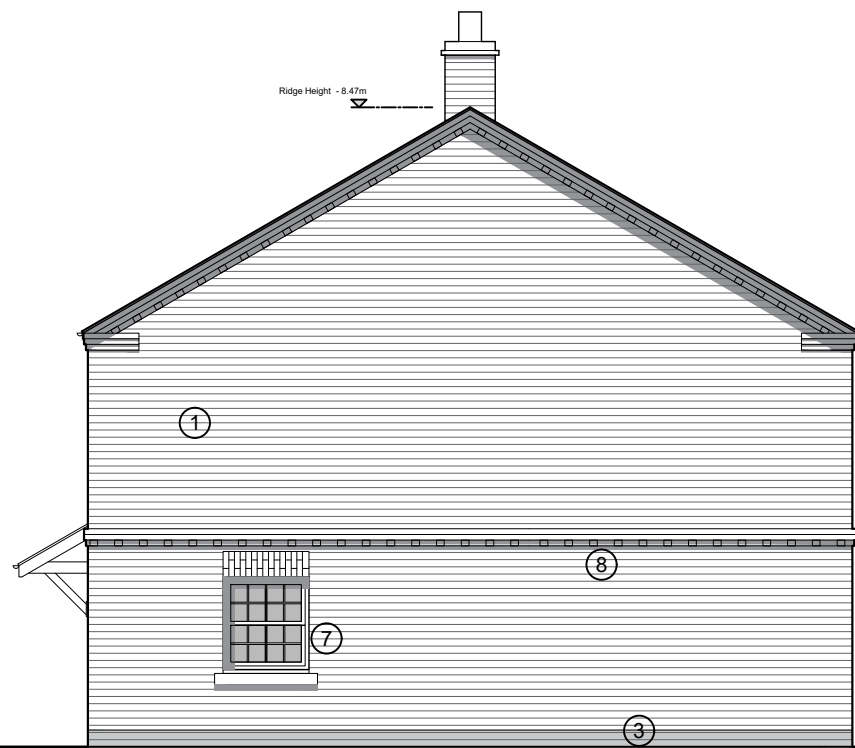
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DRAWING NUMBER: 0025-110	REVISION: 06
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	



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 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



Front Elevation

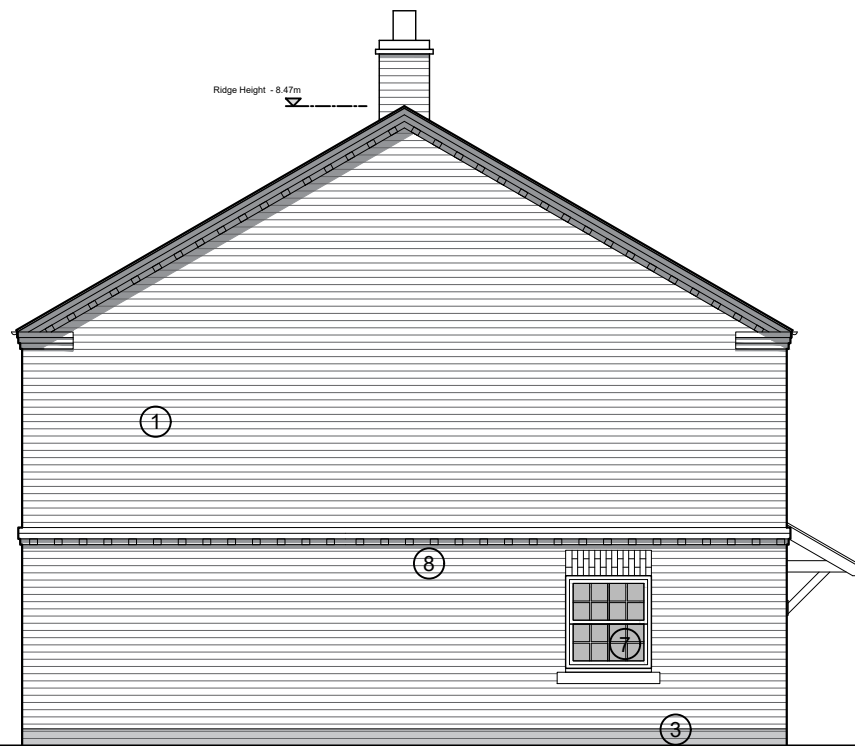


Side Elevation

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Rear Elevation

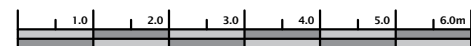


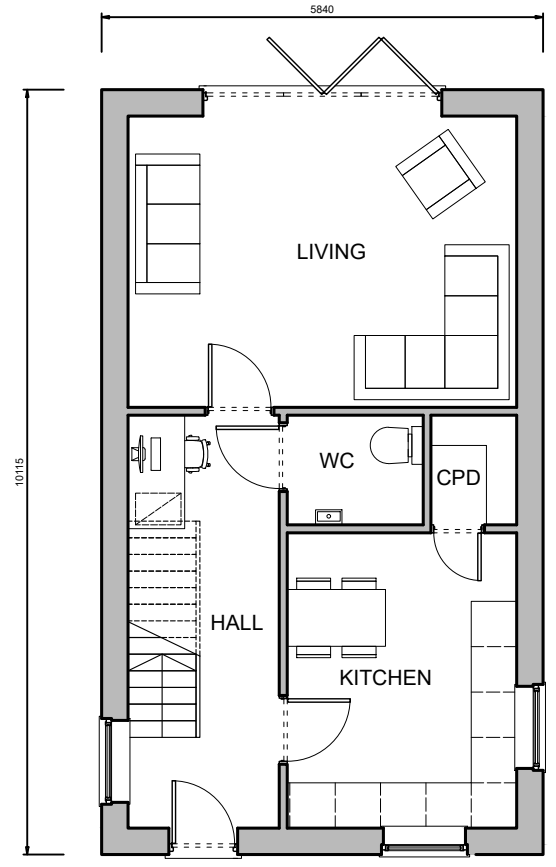
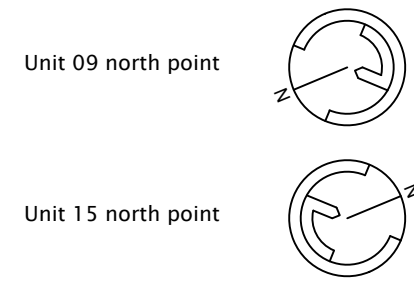
Side Elevation

REV:	DATE:	UPDATES:
05	21.02.23	Issued for planning
04	06.06.22	Dimensions added
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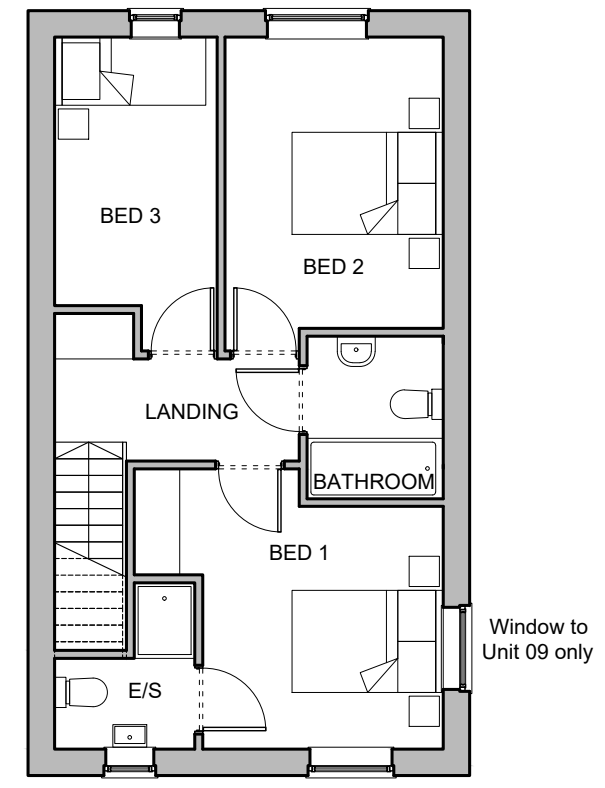
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DRAWING NUMBER: 0025-310	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3

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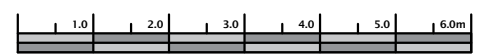
Ground Floor Plan



First Floor Plan

04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.22	Issued for information
REV:	DATE:	UPDATES:

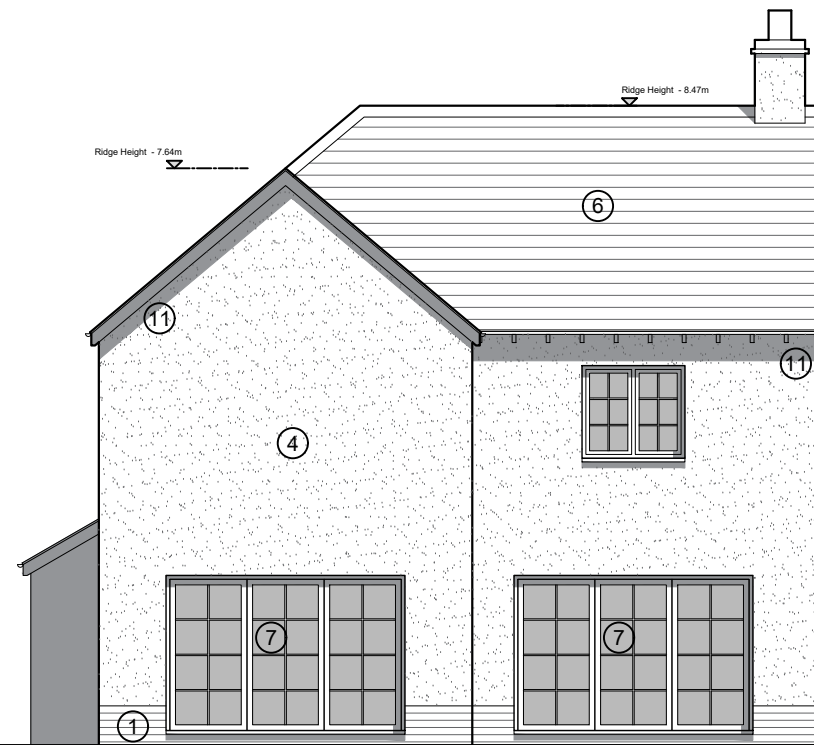
DRAWING TITLE: Units 09 & 15 Floor Plans	
DRAWING NUMBER: 0025-114	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
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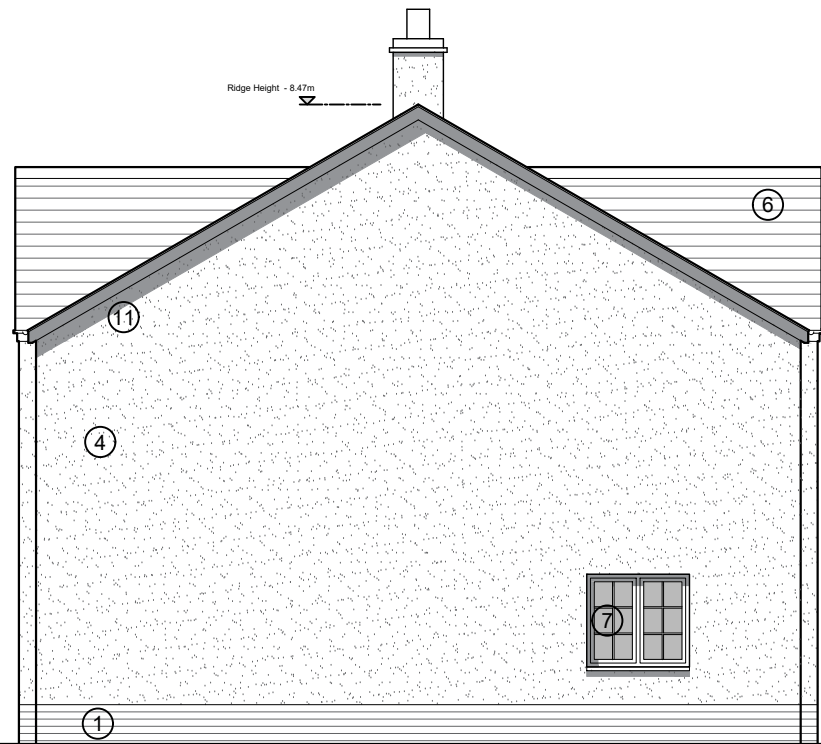
- Material Key**
1. Red brick
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 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
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 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



Front Elevation



Side Elevation



Rear Elevation

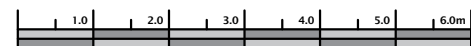


Side Elevation

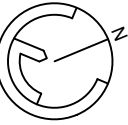
00	21.02.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Units 05 & 06 Elevations	
DRAWING NUMBER: 0025-321	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
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CLIENT: Blenheim Land & Homes Ltd	
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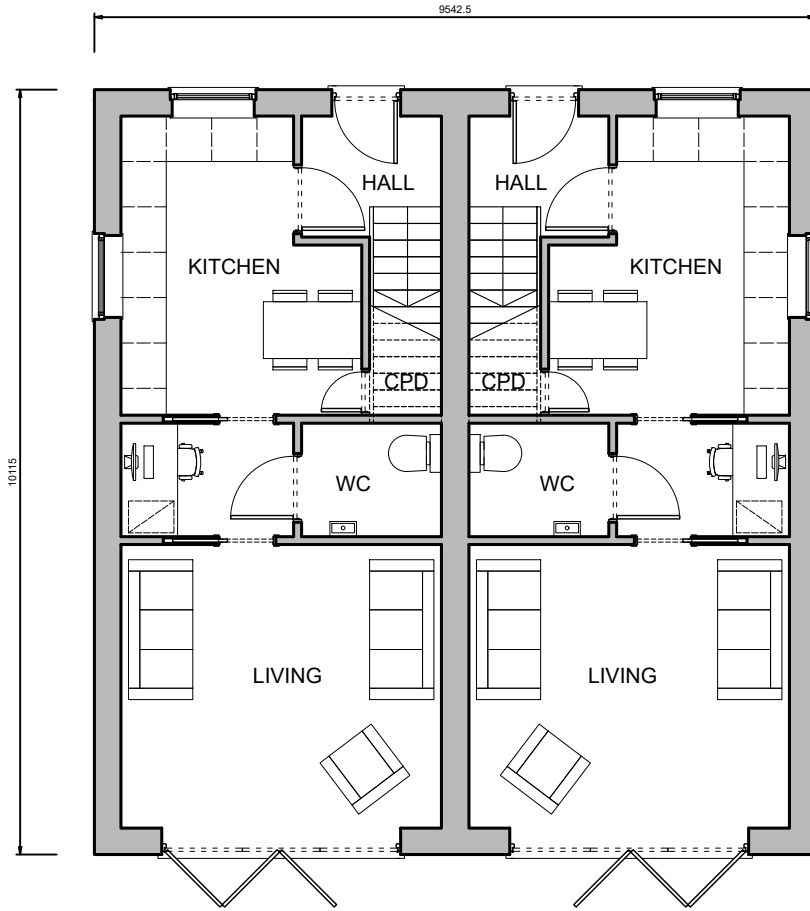
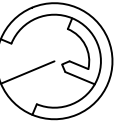
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS



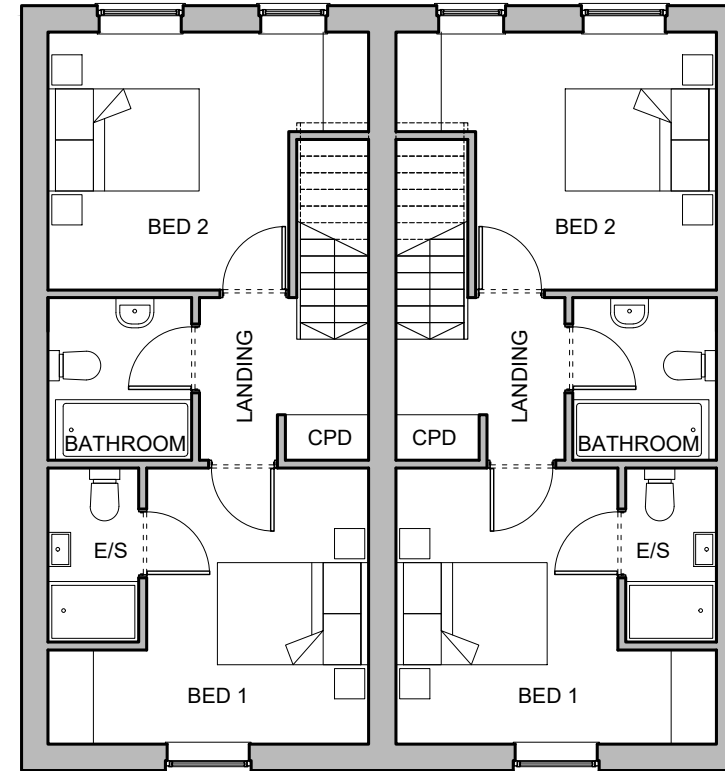
Units 07 & 08 north point



Units 13 & 14 north point



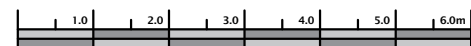
Ground Floor Plan



First Floor Plan

04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Units 07, 08, 13 & 14 Floor Plans	
DRAWING NUMBER: 0025-113	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	



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 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill

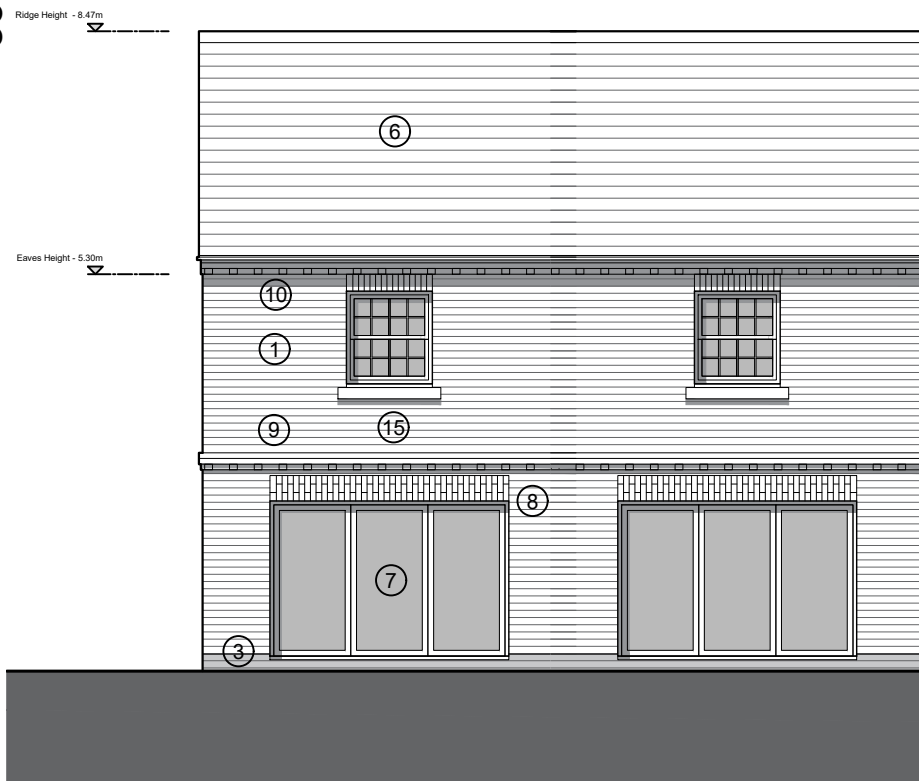


Front Elevation



Side Elevation

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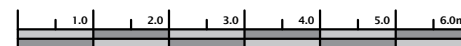
Rear Elevation

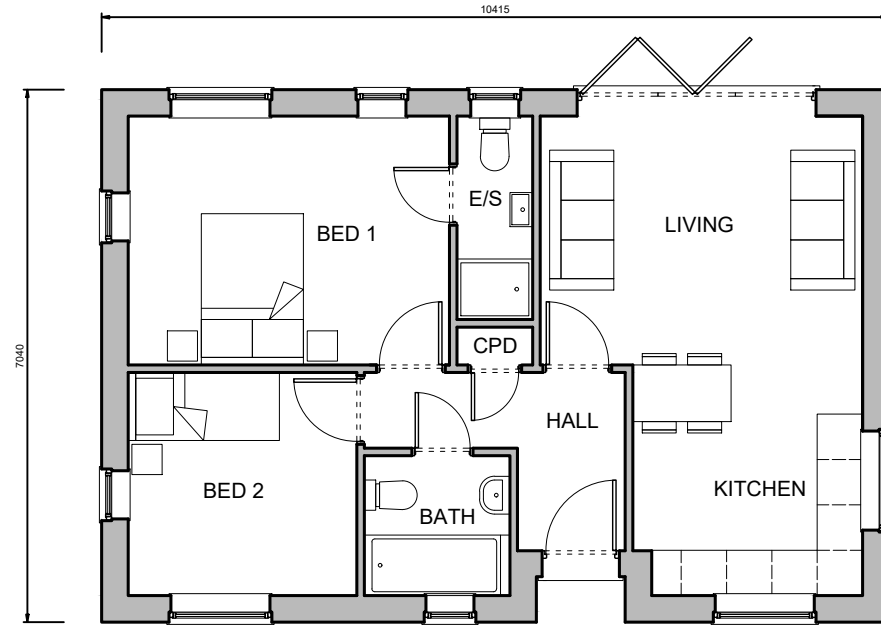
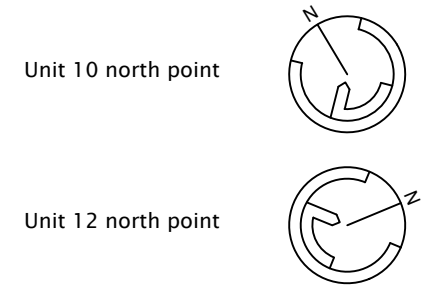


Side Elevation

04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
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REV:	DATE:	UPDATES:

DRAWING TITLE: Units 07 & 08 Elevations	
DRAWING NUMBER: 0025-313	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
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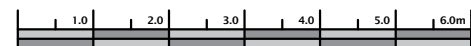




Ground Floor Plan (Bungalow)

00	21.02.23	Issued for planning
REV:	DATE:	UPDATES:

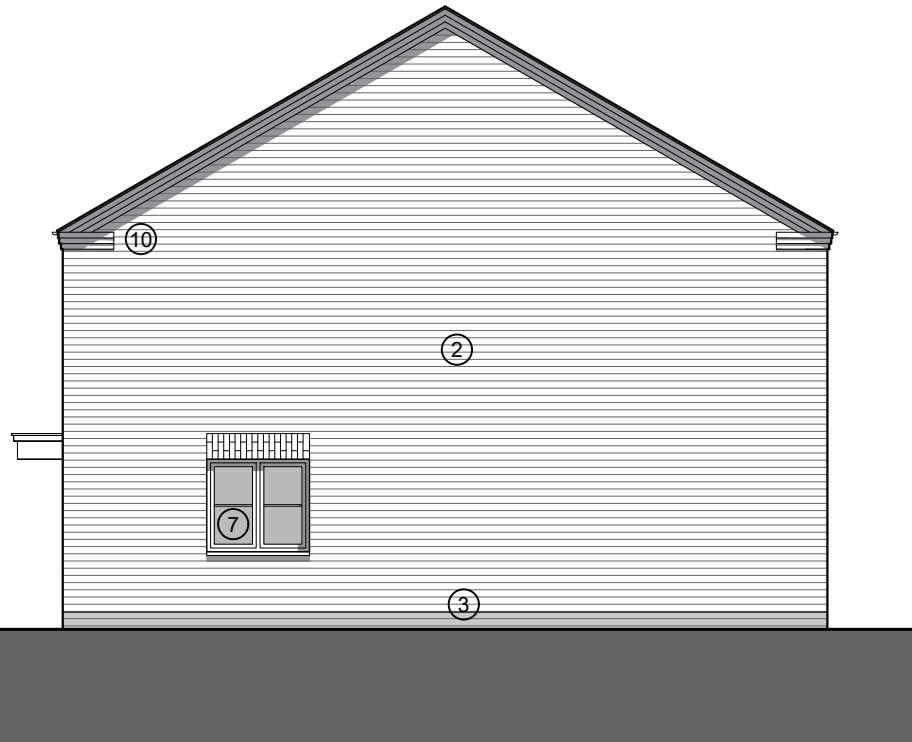
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SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
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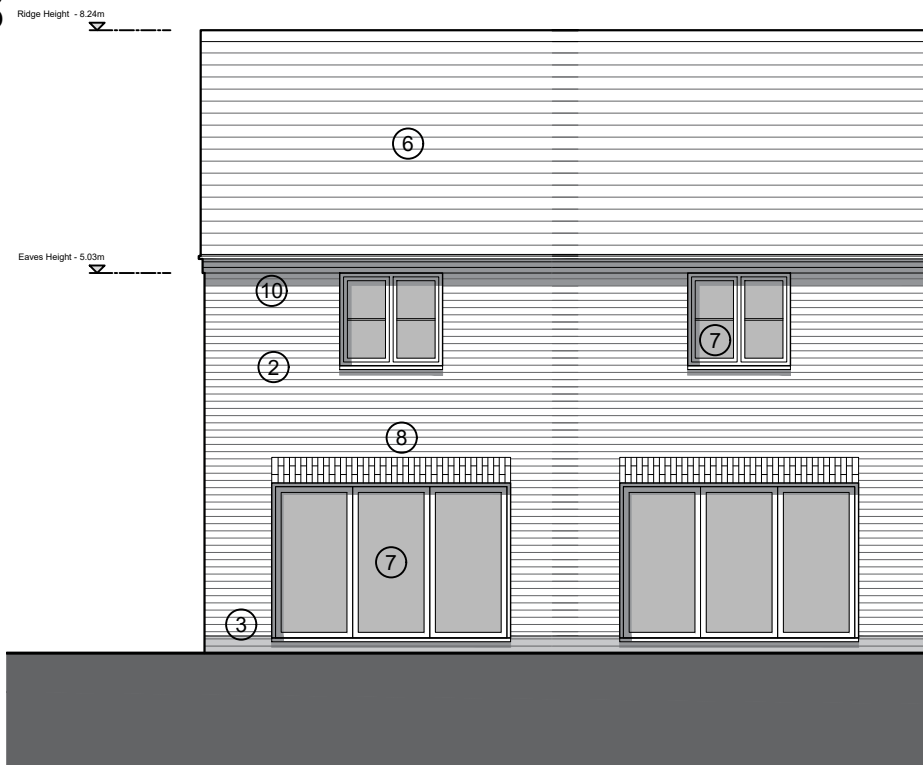
- Material Key**
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 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



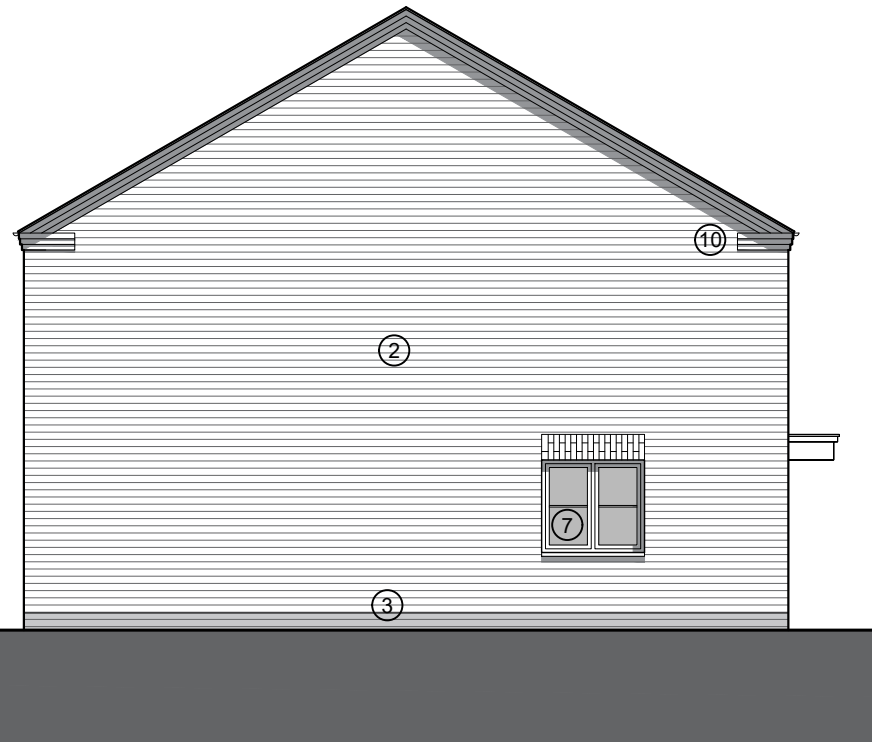
Front Elevation



Side Elevation



Rear Elevation

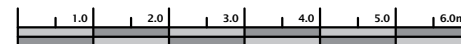


Side Elevation

00	21.02.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Units 13 & 14 Elevations	
DRAWING NUMBER: 0025-323	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS



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DEVELOPMENT MANAGEMENT COMMITTEE 22nd April 2024

Case No: 23/01699/FUL

Proposal: CONVERSION OF EXISTING CHURCH PARISH HALL
TO 3 RESIDENTIAL UNITS (USE CLASS C3).

Location: THE CHURCH HALL, RAMSEY ROAD, ST IVES, PE27
5BZ

Applicant: THE PAROCHIAL CHURCH COUNCIL

Grid Ref: 531087 271572

Date of Registration: 6TH OCTOBER 2023

Parish: ST IVES

RECOMMENDATION – APPROVE

This application is referred to the Development Management Committee (DMC) because the Officer recommendation of approval is contrary to the Parish Council recommendation.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The site is located within the St Ives Conservation Area. The site is also within close proximity to one Grade I Listed Building – St Ives Parish Church, Church Street and two Grade II Listed Buildings – The Old Grammar School, 1 Ramsey Road and Anglers Rest Hotel, Ramsey Road. The site is located predominantly within Flood Zone 2 with a small section in the south-west corner within Flood Zone 3.
- 1.2 The application seeks approval for the conversion of the existing building, an existing church parish hall and former school house, into three residential units at The Church Hall, Ramsey Road, St Ives. The proposal involves various internal and external alterations including the replacement of external doors and the insertion of new external doors.
- 1.3 This application follows a previous application (reference 21/00415/FUL) for ‘Conversion of existing church parish hall into four residential units’ which was refused, after consideration by the Development Management Committee on 17th April 2023, for the following reasons:

- 1) The proposed layout of the front part of the site including the proposed 2m fence and the 4 bin stores would break up the openness of the front of the site to its visual detriment. The proposed development would fail to preserve or enhance the character and appearance of the St Ives Conservation Area and would result in detrimental visual impacts upon the character and appearance of the street scene and surrounding area. As such, the proposal is contrary to Policies LP11, LP12 and LP34 of the adopted Huntingdonshire Local Plan to 2036, Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, the Huntingdonshire Design Guide SPD and Sections 12 and 16 of the National Planning Policy Framework.
 - 2) The proposed 1st floor bedroom window on the south facing elevation serving unit 3 would significantly overlook the rear amenity areas of No's 10, 12 and 14 River Place and would therefore have an adverse impact upon their residential amenity. The proposed development would therefore be contrary to Policy LP14 of the adopted Huntingdonshire Local Plan to 2036, the Huntingdonshire Design Guide SPD and Section 12 of the National Planning Policy.
 - 3) As the proposal fails to respect surrounding heritage assets, provides poor future residential amenity standards for residents, and would result in significant adverse impact on residential amenity of neighbouring properties, it is considered that the proposal constitutes an overdevelopment of the site contrary to policies LP12 and LP14 of Huntingdonshire Local Plan to 2036.
- 1.4 This current application seeks to overcome the previous reasons for refusal. The application is supported by the following documents:
- Design and Access Statement
 - Heritage Statement
 - Flood Risk Assessment
 - Preliminary Ecological Appraisal
 - Proposed drawings

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (15th December 2023) (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).

- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.
- 2.4 Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 places general duty as respects listed buildings in exercise of planning functions. Paragraph (1) states 'in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority... shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- 2.5 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 places a general duty as respects conservation areas in exercise of planning functions. Paragraph (1) sets out that 'with respect to any buildings or other land in a conservation area... special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.'

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP1: Amount of Development
 - LP2: Strategy for Development
 - LP4: Contributing to Infrastructure Delivery
 - LP5: Flood Risk
 - LP7: Spatial Planning Areas
 - LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity
 - LP15: Surface Water
 - LP16: Sustainable Travel
 - LP17: Parking Provision and vehicle movement
 - LP22: Local Services and Community Facilities
 - LP25: Accessible and adaptable homes
 - LP30: Biodiversity and Geodiversity
 - LP31: Trees, Woodland Hedges and Hedgerows
 - LP34: Heritage Assets and their Settings
- 3.2 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Design Guide Supplementary Planning Document (2017)
- Developer Contributions SPD (2011)
- Huntingdonshire Landscape and Townscape Assessment (2022)
- Cambridgeshire Flood and Water SPD (2017)
- Annual Monitoring Report – Part 1 (Housing Supply) 2022/23
- Annual Monitoring Report – Part 2 (Policy Analysis) 2022/23
- St Ives Conservation Area Character Assessment (2007)
- St Ives Neighbourhood Plan (draft)

For full details visit the government website [Local Policies](#)

4. PLANNING HISTORY

- 4.1 23/01212/FUL – Conversion of existing church parish hall into residential units – Withdrawn by applicant
- 4.2 21/00415/FUL – Conversion of existing church parish hall into four residential units – Refused
- 4.3 16/00486/FUL – The proposals include the demolition of the former school house and church hall, which will be replaced by two 3 bedroom houses, and three 2 bedroom houses – Refused
- 4.4 0300837FUL – Erection of ramp to provide disabled access to hall and formation of vehicular access to cottage – Approved

5. CONSULTATIONS

- 5.1 St Ives Town Council (09/11/23) – Recommend refusal due to the loss of a community facility (LP22 document: Sections D and E) and the need for consultation with alternative community facility suggestions. Members felt that the application lacked a credible plan which provided alternative solutions to the obvious potential lack of community facility. Concerns over the food bank location were raised, as one example. No suitable physical replacement has been offered and the Committee felt this was a significant omission.

St Ives Town Council (02/04/24) – Recommend refusal on the grounds of the impact on the community due to the loss of a valuable community facility. The Committee has concerns about the lack of other smaller affordable venues within the town, additionally its central location and size make it a unique and valuable asset for St Ives. Concerns over impact on the food bank operation were also raised. Regarding the application, members noted the lack of parking for potential residents of the proposed residential units in the application and concerns by adjoining occupiers from being overlooked. Concerns were expressed regarding its proximity to Holt Island Nature Reserve

and the lack of consideration for biodiversity, e.g. lack of swallow boxes. In summary, the Committee recommends refusal on the basis of the loss of a community facility and encourages the Church to draw up a business plan to revitalise the hall and enable it to become a self-sustaining venue to be an asset to the community. Refusal is also recommended due to the lack of car parking, loss of privacy for adjoining occupiers and inadequate fencing, as issues raised by neighbours.

- 5.2 HDC Conservation Officers – The previous scheme proposed location of the bin stores to the front of The Church Hall which would have had an unnecessary adverse impact on the way that the historic building is appreciated within the street scene. This revised scheme has the bins and cycle stores located within the amenity space for each flat. The Unit 1 bin store is now placed between the buttress and lobby of Unit 1 so that it respects and blends in with the existing architecture of The Church Hall. I have no objections to the revised scheme which should now preserve the character and appearance of the St Ives Conservation Area. I recommend a material condition for the brick enclosure and another limiting permitted development so that the front of the building does not accumulate visually intrusive structures.
- 5.3 Historic England – No comments.
- 5.4 HDC Urban Design Officers – Revised location of refuse stores supported subject to details of the brick wall secured by condition. The design and treatment of the cycle stores for units 2 and 3 should be conditioned. Refuse and cycle parking locations should be reconsidered for Unit 1 to ensure secure cycle parking which could be secured by condition. Removal of PD rights recommended to prevent introduction of domestic paraphernalia to the front of the Church Hall.
- 5.5 Environment Agency – No objection but strongly recommend that the mitigation measures proposed in the submitted FRA are adhered to.
- 5.6 HDC Emergency Planner – It is recommended in the FRA that “the finished floor levels of the dwellings are at a level not lower than 7.3m AOD. At this level, the floor will be 0.13m above the flood level during the 1% annual probability (1 in 100 chance each year) event. It is recommended there is 0.3m of flood resistant construction above finished floor level to mitigate climate change.” In order to offer further protection during an extreme flood event it is recommended that the suggested mitigation measures are considered in addition.
- 5.7 CCC Highway Authority – It is noted that there is no off-street parking within the site. The on-street parking in the vicinity of the site is restricted until 6pm with the closest unlimited parking being in Westwood Road and Whitecross. The LPA should

therefore be satisfied that any associated parking would not cause an amenity issue.

6. REPRESENTATIONS

6.1 5 representations received objecting to the proposal and raising the following matters:

- Lack of parking and highway safety
- Loss of privacy and overlooking
- Poor amenity for future occupants
- Swift boxes should also be installed
- Lack of public consultation
- Loss of community facility
- Parish Hall has not been effectively marketed
- Neglect of building deliberate
- Lack of bookings reflects neglect of the hall
- Impact on heritage assets
- Misleading information regarding historical use of building
- Building should be restored and retained
- Flood risk
- Many organisations would not feel comfortable holding secular activities in a church
- No prospect of equivalent modest-sized community facilities being provided elsewhere
- Biodiversity statement insufficient

6.2 2 representations received neither objecting to nor supporting the proposal:

- Ownership of existing fence and proposal for wire fencing
- Replacement of existing low fence in poor condition with higher fence

7. ASSESSMENT

7.1 The main issues to consider in the determination of this application are:

- Principle of Development
- Design, Visual Amenity and Impact on Heritage areas
- Residential Amenity
- Parking Provision and Highway Safety
- Flood Risk and Drainage
- Biodiversity
- Accessible and Adaptable Dwellings
- Water Efficiency
- Developer contributions
- Other Matters

Principle of Development

- 7.1 The site is located within a built-up area of St Ives, which the Huntingdonshire Local Plan to 2036 identifies as a Spatial Planning Area and as such, Policy LP7 (Spatial Planning Areas) is considered relevant.
- 7.2 Policy LP7 states that a proposal for development on a site which is additional to those allocated in this plan will be supported where it fulfils the following requirements and is in accordance with other policies. The proposal seeks approval for the change of use of an existing building into three dwellings. Policy LP7 goes on to state that a proposal for housing development will be supported where it is appropriately located within a built-up area of an identified Spatial Planning Area settlement.
- 7.3 As the site is located within a built-up area of St Ives, the principle of a residential use is therefore considered acceptable.
- 7.4 The existing use of the building is a former schoolhouse residential use and church/community hall, which is considered to be a community facility and therefore Policy LP22 of the Local Plan applies.
- 7.5 Policy LP22 states that a proposal which involves the loss of a local service or community facility will only be supported where:
(d) an equivalent service or community facility will be provided in a location with an equal or better level of accessibility for the community it is intended to service; or
(e) it demonstrates that there is no reasonable prospect of that service or facility being retained or restored because either (i) there is insufficient community support for its continuation or (ii) reasonable steps have been taken to effectively market the property for its current use without success.
- 7.6 Furthermore, paragraph 97 of the National Planning Policy Framework 2023 states that planning decisions should guard against the unnecessary loss of valued facilities and services, particularly where this would reduce the community's ability to meet its day-to-day needs.
- 7.7 As LP22 covers a wide range of different local services and community facilities, it is acknowledged that the evidence base will vary from case to case. Each case/use should be assessed on its own merits. It is understood that the Church Hall relies on a booking system whereby customers would book the facility ahead of time. It is not a place where you can just turn up to use the facilities. Therefore, the applicant can quantify the demand for the service. The applicant has stated that there were 3 regular hires (martial arts and fitness clubs) and two private party hires in 2019, 1 club hire (martial arts) in 2020 and no hires in 2021. The applicant has confirmed that there have been no

further bookings for the hall since the previous application (21/00415/FUL). The hall is only currently being used for foodbank storage and it is proposed to relocate this operation to another location with better accessibility and parking provision.

- 7.8 The applicant has also provided a list of other community facilities within St Ives (Burgess Hall, Westwood School Hall, the refurbished Corn Exchange, the Methodist Church Hall), notes on the condition of the exiting hall and has outlined future plans for the Parish Church (contained in the Design and Access Statement).
- 7.9 It is considered that the information provided with this application demonstrates that there is insufficient community support for the continuation of the facility given the lack of bookings over the last few years. The submitted information also demonstrates that there are alternative community facilities in close proximity to the site, which have better levels of accessibility for the community it is intended to serve. It also clearly outlines the amount of repair/refurbishment that is required to bring the building up to standard. It is also a material planning consideration that the previous application (21/00415/FUL) was not found to conflict with Policy LP22 following the submission of additional information (similar to that submitted in support of this current application).
- 7.10 It is noted that the subject property has not been marketed for sale. Policy LP22 states that either (e)i **or** (e)ii must be addressed. In this particular case, when considering the information submitted against the use of the site as a community hall for hire, it is considered that e.i. has been addressed and therefore marketing information is not sought.
- 7.11 It is noted that St Ives Town Council previously supported the conversion of the church hall to residential units (application reference 21/00415/FUL) in their comments dated 24th March 2021 stating “the return to use of a disused building is welcomed.” St Ives Town Council have now raised an objection to the current application, due to the loss of the community facility. They have stated that the application lacks a credible plan which provides alternative solutions and no suitable physical replacement has been offered. As set out above, it is considered that the proposal complies with LP22 (e)(i), and therefore an equivalent community facility does not need to be provided as part of this application.
- 7.12 Overall, it is considered that the submitted information is sufficient in order to address the loss of the community facility and the requirements of Policy LP22 of the Local Plan. The principle of development is therefore acceptable, subject to all other material planning considerations addressed below.

Design, Visual Amenity and Impact on Heritage Assets

- 7.13 Policy LP11 of the Local Plan states that a proposal will be supported where it is demonstrated that it responds positively to its context. Policy LP12 states that new development will be expected to be well designed and that a proposal will be supported where it can be demonstrated that it contributes positively to the area's character and identity and successfully integrates with adjoining buildings and landscape. Policy LP34 of the Local Plan sets out that great weight and importance is given to the conservation of heritage assets.
- 7.14 The site is located within the St Ives Conservation Area. The site is also within close proximity to one Grade I Listed Building – St Ives Parish Church, Church Street and two Grade II Listed Buildings – The Old Grammar School, 1 Ramsey Road and Anglers Rest Hotel, Ramsey Road. Furthermore, the Council's Conservation Officer identifies the existing Church Hall building as an undesignated heritage asset that makes a strong contribution to the character and appearance of the St Ives Conservation Area.
- 7.15 The proposal involves the change of use of the existing Church Hall and former schoolhouse into three residential units, alongside various external alteration including the replacement of external doors, the insertion of new external doors, boundary treatments and erection of cycle and bin stores. The proposed external alterations to the building itself are considered to be minor and subject to specific details of the proposed doors, would not adversely impact the character and appearance of the street scene or St Ives Conservation Area.
- 7.16 The existing 1 metre high brick boundary wall to the front of the site is to be retained with 2 small sections removed to create pedestrian access to units 2 and 3. Unit 1 would be served by the existing pedestrian access. The external areas around the building would be subdivided to create separate garden/patio areas. It should be noted that the 2m fence proposed under the previous application (21/00415/FUL) which was included in the refusal reason has been removed from the proposed plans. Unit 1 would have the garden area to the front of the building, unit 3 would have a small 'private yard' to the rear of the building and unit 2 would the largest garden areas to the rear/side of the building. The proposed boundary treatment and paving the units is acceptable in principle, however it is recommended that details of hard landscaping be secured by way of condition should Members decide to support the proposal. It is also noted that no indicative soft landscaping has been shown on the proposed plans and therefore this should also be secured by way of a condition.

- 7.17 Each unit would be served by separate bin and cycle stores located within the amenity space for each unit. The Unit 1 bin store would be sited between the buttress and lobby of Unit 1 with a new brick enclosure. It is considered that this would respect and blend in with the existing architecture of the Church Hall and addresses the 1st reason for refusal on the previous application 21/00415/FUL. The Conservation Officer has raised no objections to this revised scheme, which is considered would preserve the character and appearance of the St Ives Conservation Area, subject to the imposition of a condition securing the brick details for the bin store enclosure. It is also recommended that permitted development rights be removed by way of a condition, to ensure that no walls, fences or other structures can be erected to the front of the building within the garden of Unit 1, without the written approval of the Local Planning Authority.
- 7.18 Given the nature of the proposals and the distance to surrounding listed buildings, it is not considered there would be any harm caused to the setting of these heritage assets.
- 7.19 In summary, subject to recommended conditions, securing a hard and soft landscaping proposal, details of the external doors, details of the brick to be used for the unit 1 bin store, details of the bin and cycle stores for units 1, 2, and 3, as well as the removal of certain permitted development rights, the proposal would preserve the character and appearance of the existing building, the St Ives Conservation Area and the surrounding area. The proposal therefore accords with Policies LP11, LP12 and LP34 of Huntingdonshire's Local Plan to 2036, Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, the Huntingdonshire Design Guide SPD and Sections 12 and 16 of the National Planning Policy Framework 2023. The proposal overcomes refusal reasons 1 and 3 on 21/00415/FUL in respect of the impact on heritage assets and the surrounding area.

Residential Amenity

Amenity of neighbouring properties

- 7.20 Policy LP14 states that a proposal will be supported where a high standard of amenity is maintained for all occupiers of neighbouring land and buildings.
- 7.21 The closest neighbouring properties that could be impacted as a result of the proposed development are No. 4A Ramsey Road, Nos. 1 and 2 Church Terrace, Nos 2 - 14 River Place (evens only) and No. 40 West Street.
- 7.22 No 4A Ramsey Road is located to the north of the application site. This neighbouring property would share a boundary with the

private amenity areas to unit 2 and 3. The submitted floor plan states that there is an existing 2.5 metre wall along the northern boundary with 4A Ramsey Road, however the neighbour has commented that there is a gap which is currently filled with a low fence in poor condition. The vegetation along this boundary was too overgrown for the Officer to inspect on the site visit. As already mentioned above, it is recommended that details of hard landscaping, including boundary treatments, are secured by way of condition. Furthermore, the proposal is not considered to result in any unacceptable overlooking impacts as the existing first-floor, north elevation window serving bedrooms to Unit 3 are situated forward of the principle elevation of the neighbouring property.

- 7.23 The proposed development is not considered to result in any overlooking impacts on the neighbouring properties of Nos. 2 and 4 River Place or No. 40 West Street as the existing windows on the east elevation would serve ground floor bedrooms only and no first floor level is proposed.
- 7.24 The previous application was refused for the following reason: *“the proposed 1st floor bedroom window on the south facing elevation serving unit 3 would significantly overlook the rear amenity areas of No's 10, 12 and 14 River Place and would therefore have an adverse impact upon their residential amenity”*. The mezzanine serving unit 3 (now unit 2) has been omitted from the proposed plans. The existing windows on the south elevation would be retained however these would not serve first floor accommodation and therefore would not result in harmful overlooking between the future occupants of unit 2 and the neighbouring properties. A replacement fixed door is proposed to unit 2 (serving a bedroom) however the proposed south elevation indicates that the top half of the door would be obscured glazed. Subject to a condition to ensure the obscure glazing is retained in perpetuity, it is not considered there would be any detrimental neighbour amenity impacts to 10, 12 and 14 River Place or future occupants of the development.
- 7.25 There are existing windows on the south elevation of the subject building which face towards the rear elevation and gardens of 1 and 2 Church Terrace which sit further forward in their plot than the subject building. The existing high level window would serve the bathroom for unit 1, however the bottom of the window is at least 2 metres above the internal floor level and external ground level. As such, it is not considered likely that there would be adverse overlooking impacts or loss of privacy to the future occupants or the existing properties 1 and 2 Church Terrace.

7.26 As the proposed change of use does not involve any increase to its footprint, the proposal is not considered to result in any overbearing or overshadowing impacts on neighbouring properties over and above the existing arrangement.

Amenity for future occupiers

7.27 The third refusal reason on the previous application stated that the proposal provided poor future residential amenity standards for residents. The Officer Report for DMC highlighted the concerns which included lack of external access, lack of privacy to front garden area, poor internal light levels and outlook.

7.28 The amended scheme demonstrates that units 2 and 3 would have external access to the rear external amenity areas. The external amenity area to Unit 1 would be entirely to the front of the building adjacent to Ramsey Road, therefore it is acknowledged that this unit would not benefit from a private external amenity space.

7.29 Unit 3 would have a small 'private yard' area to the rear of the building and the proposed floor plan shows that there would be 3 windows serving habitable rooms in Unit 1 and 2 facing this private yard. The bottom of the east elevation window serving the kitchen to Unit 1 would be over 2 metres from the external ground level, such that there would not be any adverse overlooking or loss of privacy. The proposed north elevations indicate that the lower panels in the 2 large windows serving a bedroom for Unit 1 and living area for Unit 2 would be obscure glazed. Subject to a condition to ensure the obscure glazing is retained in perpetuity, it is not considered there would be any detrimental residential amenity impacts to future occupants of the development.

7.30 It is considered that the amendments to the current scheme are sufficient to overcome the previous refusal reason and on balance, the proposal would deliver an acceptable level of amenity for future occupants, in accordance with Policy LP14 of the Local Plan.

Parking Provision and Highway Safety

7.31 Policy LP16 of the Local Plan aims to promote sustainable travel modes and supports development where it provides safe physical access from the public highway. Policy LP17 states a proposal will be supported where it incorporates appropriate space for vehicle movements, facilitates accessibility for service and emergency vehicles and incorporates adequate parking for vehicles and cycles.

7.32 There is no existing vehicular access or off-street car parking for the site.

Car Parking

7.33 The proposal does not include any off-street car parking for the development. Given the site is in close proximity to the St Ives town centre which provides various services and facilities of a day-to-day nature, the proposal is considered to be acceptable in this instance. Officers also note that there are parking control measures such as double yellow lines, cycle lanes and parking bays in place near to the site. Given the sustainable location of the site, it is considered the proposed car-free development complies with aims of policies LP16 and LP17 of Huntingdonshire's Local Plan to 2036 in regards to car parking.

Cycle Parking

7.34 The proposal includes the provision of cycle stores for each property. As one cycle storage space is required per bedroom, per property, units 2 would need to provide an additional cycle storage space. As such, the proposal currently does not strictly accord with the guidance. However Officers note the above identified harm about the proposed positioning of the bin stores at the front of the site. Therefore taking everything into consideration, Officers consider the proposal is acceptable and would comply with aims of policies LP16 and LP17 of the of the Huntingdonshire Local Plan to 2036 with regards to cycle parking.

Highway Safety

7.35 No vehicular access is proposed as part of the development. The Highway Authority have been consulted as part of the application and raise no objection the proposal. Officers therefore consider the proposal would not have an adverse impact upon highway safety, in accordance with policies LP16 and LP17 of the of the Huntingdonshire Local Plan to 2036.

Flood Risk and Drainage

7.36 The site is predominantly located within Flood Zone 2, with a section in the south-west of the site falling within Flood Zone 3 on the Environment Agency's Flood Map for Planning and the Strategic Flood Risk Assessment (2017). The proposal seeks permission for the change of use of an existing Church Hall to three residential dwellings. As the proposal is for a change of use a sequential test is not required. The existing use is classified as 'Less Vulnerable' development with the proposed use classified as 'More Vulnerable' in accordance with the Planning Practice Guidance. Whilst the proposal would result in an increase in

vulnerability, given that the entirety of the building and residential use would be within Flood Zone 2, where 'More Vulnerable' development is acceptable, the Local Planning Authority are satisfied that Exception or Sequential Tests are not required.

- 7.37 The application has been accompanied by a Flood Risk Assessment, which the Environment Agency have no objections to, subject to the imposition of a condition to ensure the mitigation measures proposed are adhered to.
- 7.38 The proposal seeks to dispose of surface water via soakaway and the mains sewer and seeks to dispose of foul sewage by connecting to the existing mains sewer. The proposed methods are considered to be acceptable, subject to specific details on the soakaway, to be agreed via a suitably worded condition on any planning permission granted.
- 7.39 Subject to appropriate conditions, the proposal is considered to be acceptable with regard to its impact on both flood risk and surface water and therefore accords with Policies LP5 and LP15 of Huntingdonshire's Local Plan to 2036 and Section 14 of the National Planning Policy Framework.

Biodiversity

- 7.40 Paragraph 180(d) of the NPPF (2023) states planning decisions should minimise impacts on and provide net gains for biodiversity. Policy LP30 of Huntingdonshire's Local Plan to 2036 requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated. Policy LP30 also requires development proposals to ensure no net loss in biodiversity and provide a net gain in biodiversity where possible.
- 7.41 The application is accompanied by a Preliminary Ecological Appraisal dated October 2023. This sets out that no further surveys are required for bats, however precautionary measures have been recommended. It is recommended that the bramble and ivy growing on and around the building is cut back to prevent the site becoming suitable for nesting birds and sensitive timings for its removal have been recommended. There are opportunities for enhancement at the site including night-scented planting, bird boxes and a hedgehog dome. Furthermore, conditions would be imposed on any planning permission granted to secure specific details of soft landscaping proposals.
- 7.42 Subject to the imposition of conditions ensuring compliance with the recommendations set out in the PEA and securing a soft landscaping scheme, the proposal is considered to accord with the objectives of Policy LP30 of the Local Plan and the NPPF 2023.

Accessible and Adaptable Dwellings

- 7.43 Policy LP25 of the Local Plan states that proposals for new housing will be supported where they meet the optional Building Regulation requirement M4(2) 'accessible and adaptable homes' unless it can be demonstrated that site specific factors make this impractical or unviable. The applicant has confirmed that the proposed units would comply with this requirement, and therefore a condition could be attached to any approval decision to ensure compliance with the above.

Water Efficiency

- 7.44 Policy LP12(j) of the Local Plan to 2036 states that new dwellings must comply with the optional Building Regulation requirement for water efficiency set out in Approved Document G of the Building Regulations. A condition will be attached to any permission to ensure compliance with the above, in accordance with Policy LP12(j) of Huntingdonshire's Local Plan to 2036.

Developer Contributions

Bins

- 7.45 Part H of the Developer Contributions SPD (2011) requires a payment towards refuse bins for new residential development. A Unilateral Undertaking for the provision of wheeled bins has been received by the Local Planning Authority dated 4th March 2024. The proposed development is therefore considered to accord with Policy LP4 of Huntingdonshire's Local Plan to 2036 and the Developers Contributions SPD (2011).

Community Infrastructure Levy (CIL)

- 7.46 The development will be CIL liable in accordance with the Council's adopted charging schedule; CIL payments will cover footpaths and access, health, community facilities, libraries and lifelong learning and education.

8. RECOMMENDATION – APPROVAL subject to conditions to include the following:

- Time limit
- Approved plans
- Hard and soft landscaping, including boundary treatments
- Details of external doors
- Details of the brick to be used for the unit 1 bin store
- Details of bin and cycle stores
- Compliance with FRA
- Surface water drainage details
- Compliance with PEA
- Obscure glazing to south and east elevation windows
- Removal of permitted development rights

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs

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PLANNING APPLICATIONS

Official Planning Recommendations from Planning Committee Meeting 08 November 2023

Application No Applicant/Agent	Proposed Development	Recommendation
<p>23/O1699/FUL</p> <p>[REDACTED]</p> <p>Headley Stokes Associates Limited Ferrar House 70 High Street Huntingdon PE29 3DJ</p>	<p>Conversion of existing church parish hall to 3 residential units (Use Class C3).</p> <p>The Church Hall, Ramsey Road St Ives</p>	<p>Refusal – due to the loss of a community facility (LP22 document: Sections D and E) and the need for consultation with alternative community facility suggestions.</p> <p>Members felt that the application lacked a credible plan which provided alternative solutions to the obvious potential lack of community facility. Concerns over the food bank location were raised, as one example. No suitable physical replacement has been offered and the Committee felt this was a significant omission.</p>
<p>[REDACTED]</p> <p>[REDACTED]</p> <p>[REDACTED]</p> <p>[REDACTED]</p> <p>[REDACTED]</p>	<p>[REDACTED]</p> <p>[REDACTED]</p> <p>[REDACTED]</p> <p>[REDACTED]</p>	<p>[REDACTED]</p> <p>[REDACTED]</p> <p>[REDACTED]</p> <p>[REDACTED]</p> <p>[REDACTED]</p>
<p>[REDACTED]</p>	<p>[REDACTED]</p> <p>[REDACTED]</p>	<p>[REDACTED]</p> <p>[REDACTED]</p> <p>[REDACTED]</p>

<p>[REDACTED]</p>	<p>[REDACTED]</p>	<p>[REDACTED]</p>
<p>[REDACTED]</p>	<p>[REDACTED]</p>	<p>[REDACTED]</p>

PLANNING APPLICATIONS

Official Planning Recommendations from Planning Committee Meeting 27 March 2024

Application No Applicant/Agent	Proposed Development	Recommendation
<p>23/O1699/FUL Basil Samila Headley Stokes Associates Limited Ferrar House 70 High Street Huntingdon PE29 3DJ</p>	<p>Conversion of existing church parish hall to 3 residential units (Use Class C3).</p> <p>The Church Hall, Ramsey Road St Ives</p>	<p>Recommend refusal on the grounds of the impact on the community due to the loss of a valuable community facility. The Committee has concerns about the lack of other smaller affordable venues within the town, additionally its central location and size make it a unique and valuable asset for St Ives. Concerns over impact on the food bank operation were also raised. Regarding the application, members noted the lack of parking for potential residents of the proposed residential units in the application and concerns by adjoining occupiers from being overlooked. Concerns were expressed regarding its proximity to Holt Island Nature Reserve and the lack of consideration for biodiversity, e.g. lack of swallow boxes.</p> <p>In summary, the Committee recommends refusal on the basis of the loss of a community facility and encourages the Church to draw up a business plan to revitalise the hall and enable it to become a self-sustaining venue to be an asset to the community. Refusal is also recommended due to the lack of car parking, loss of privacy for adjoining occupiers and inadequate fencing, as issues raised by neighbours.</p>
<p>[REDACTED]</p>	<p>[REDACTED]</p>	<p>[REDACTED]</p>

[REDACTED]	[REDACTED]	
[REDACTED]	[REDACTED]	[REDACTED]
[REDACTED]	[REDACTED]	[REDACTED]
[REDACTED]	[REDACTED]	[REDACTED]

Development Management Committee



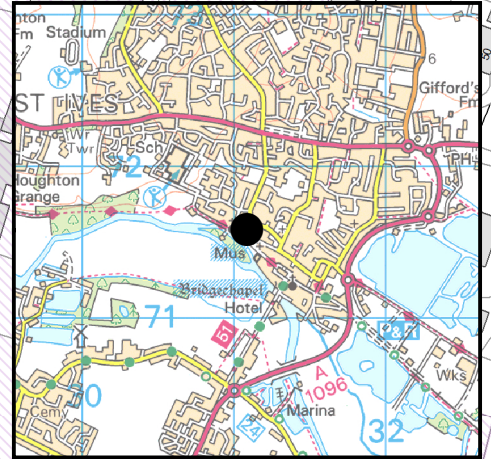
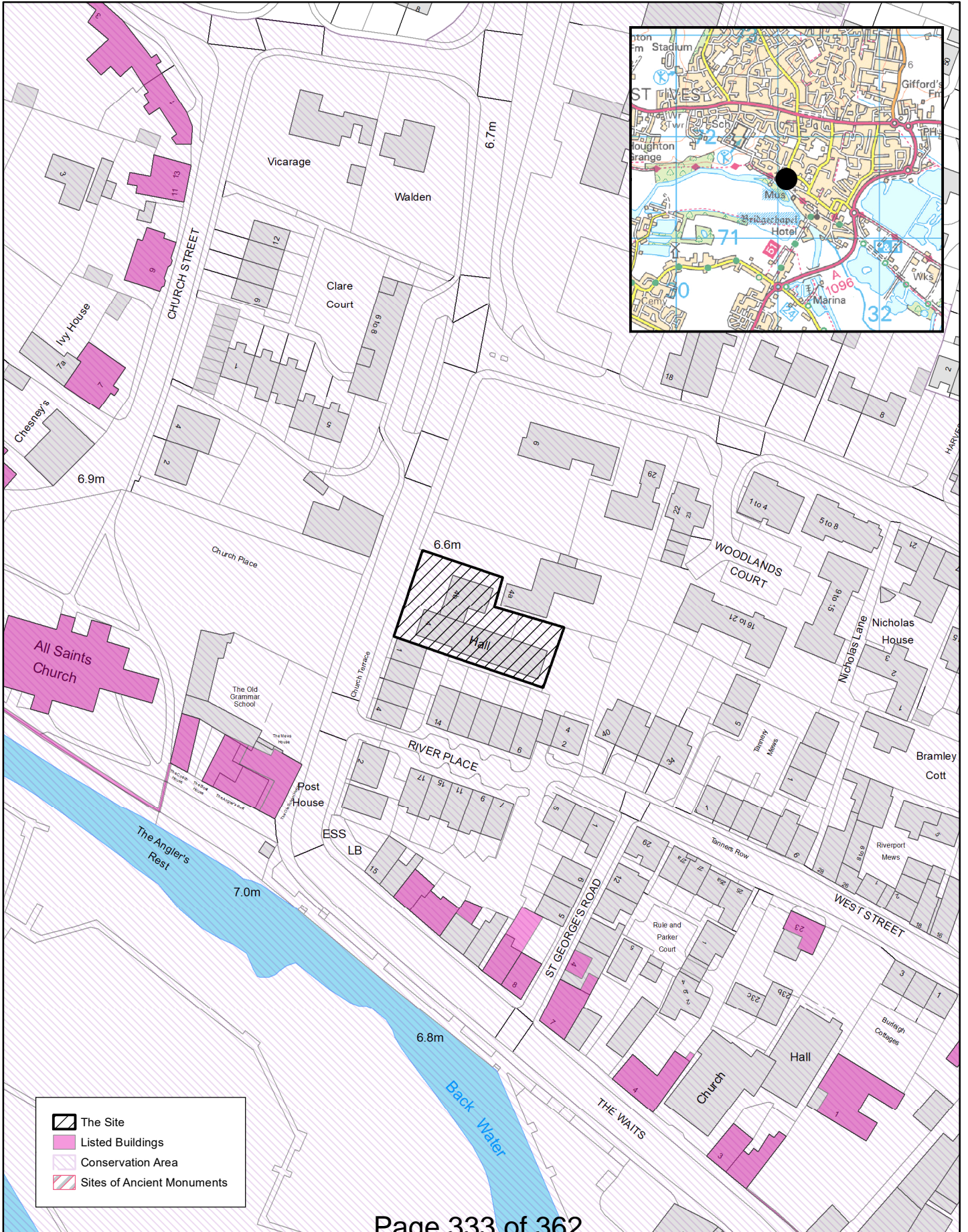
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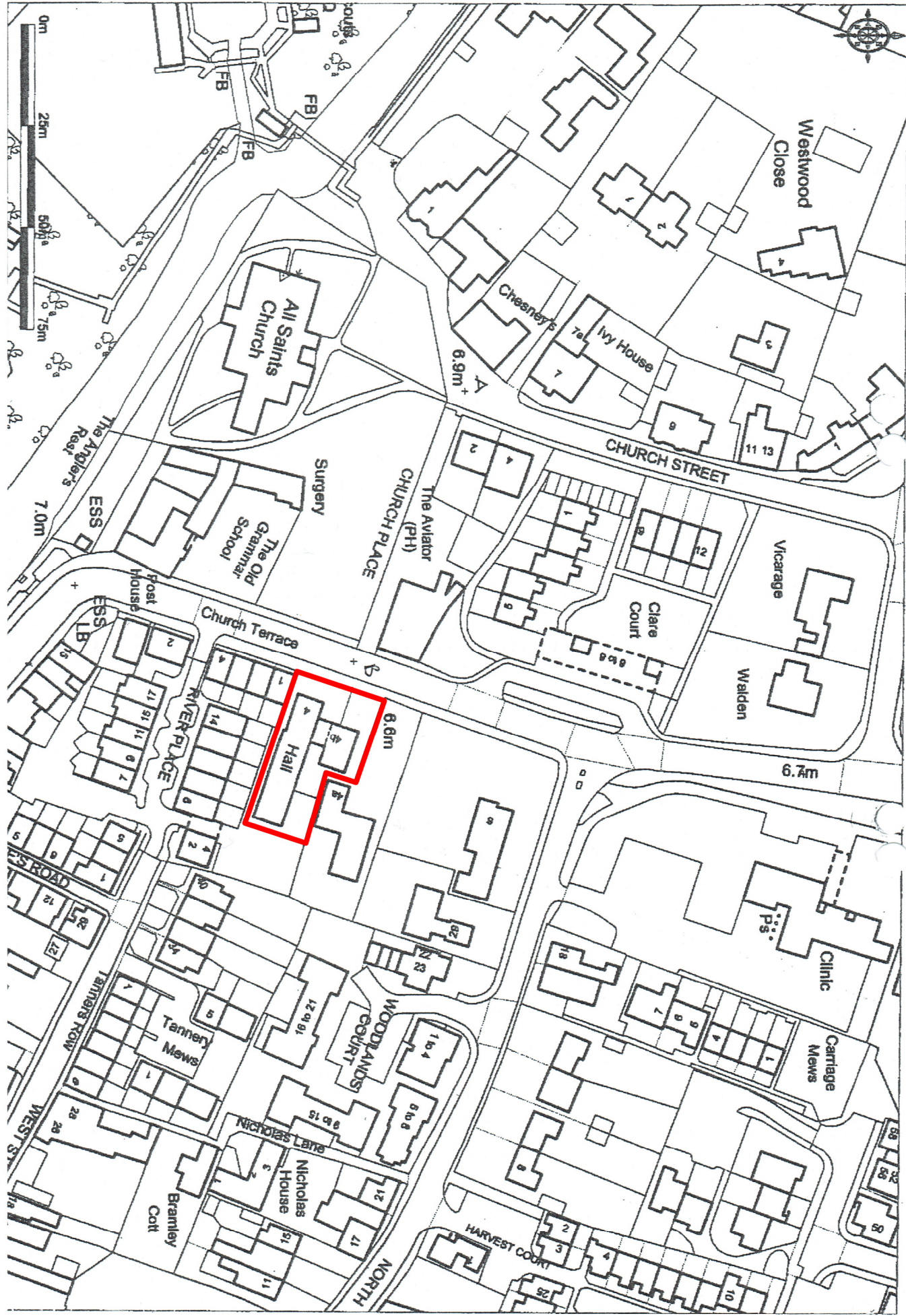
Location: St Ives

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Ordnance Survey HDC 100022322





Scale (m) 0 5 10 50



HEADLEY STOKES ASSOCIATES
 Chartered Architects and Project Managers
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 Telephone (01480) 456507

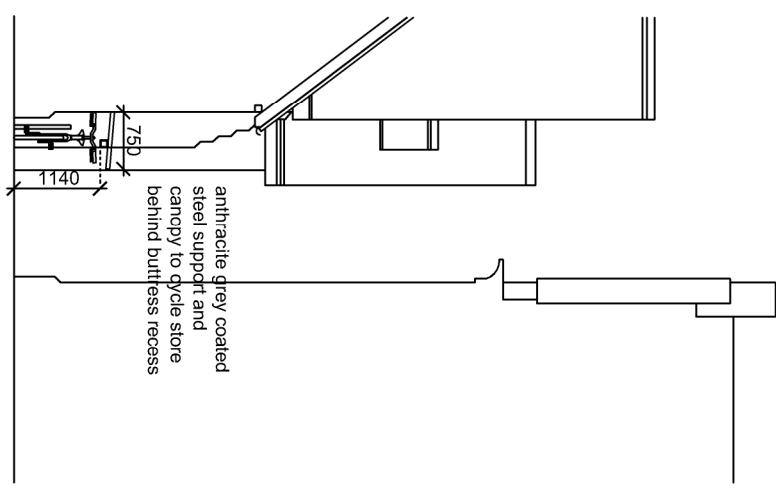
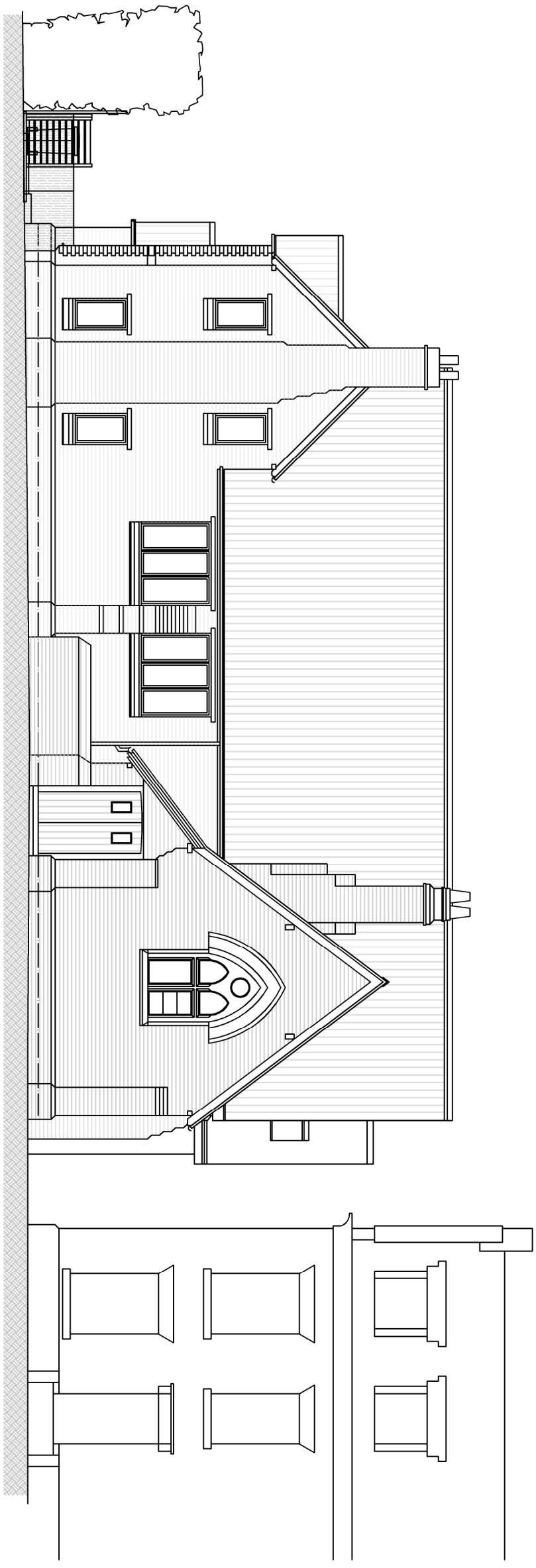
REDEVELOPMENT OF CHURCH HALL SITE,
RAMSEY ROAD, ST. IYES, CAMBS

LOCATION PLAN

Date: Apr '23 Scale: 1:1250
 Size: A3
 1792 / 3 / 01



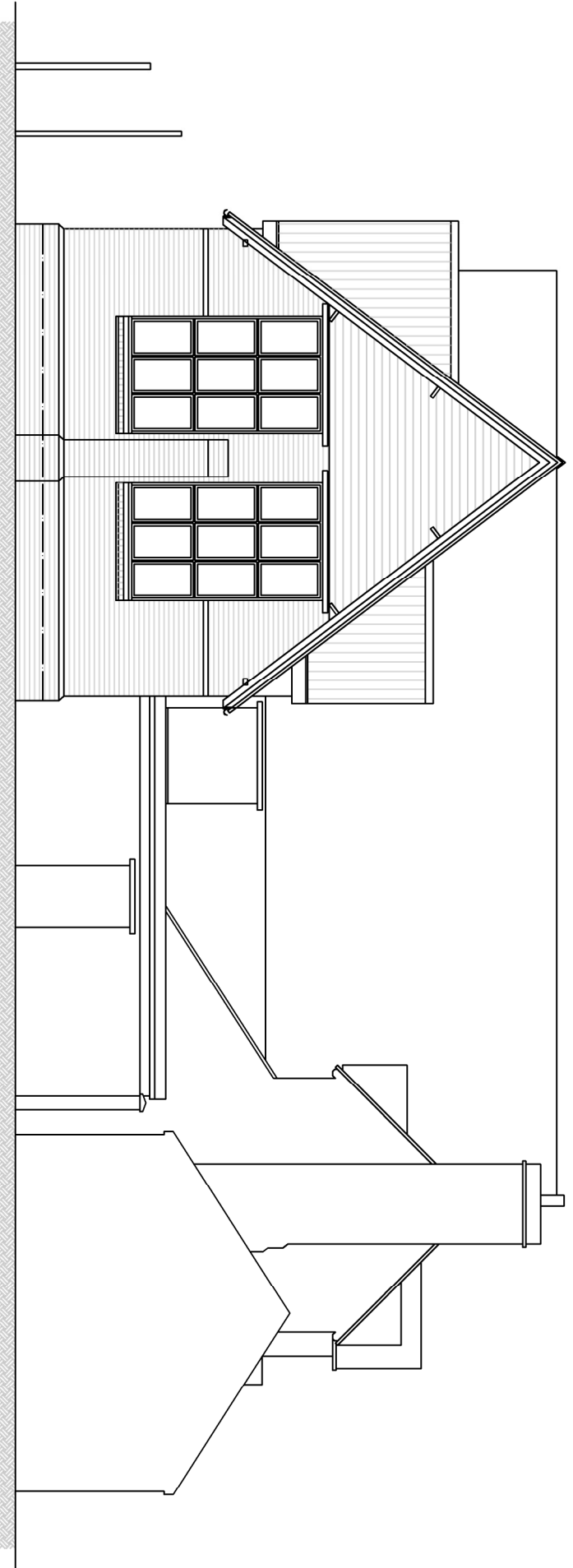
FRONT (EAST) ELEVATION TO RAMSEY ROAD



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 REDEVELOPMENT OF CHURCH HALL SITE,
 RAMSEY ROAD, ST. IYES, CAMBS
 ELEVATIONS AS PROPOSED - 1
 Date: Apr '23 Scale: 1:100
 1792 / 4 / 09

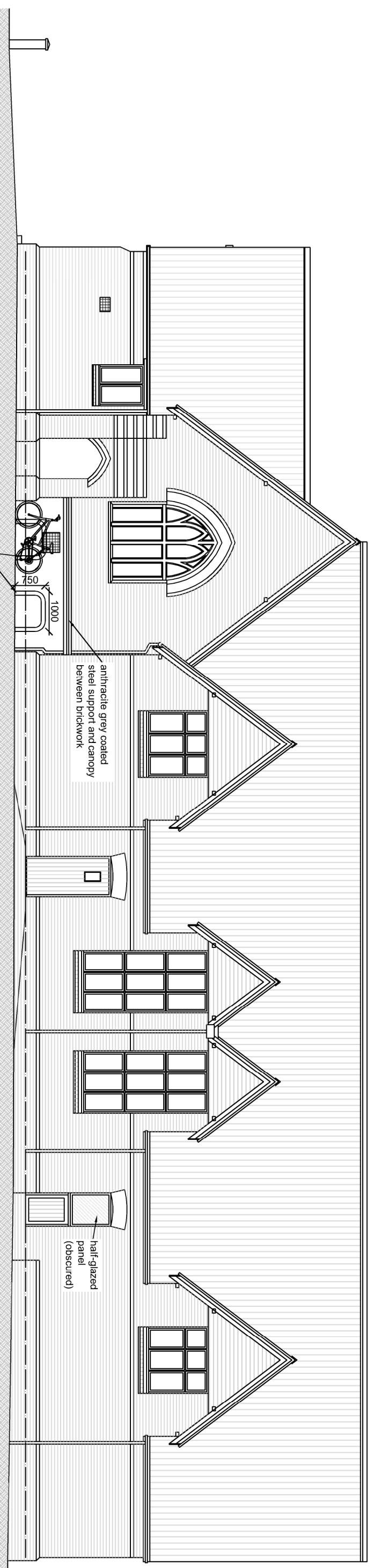


REAR (WEST) ELEVATION



2no. surface fixed
cycle stands to be
100mm dia. tubular
steel in brushed finish

SIDE (SOUTH) ELEVATION TO BOUNDARY



HEADLEY STOKES ASSOCIATES
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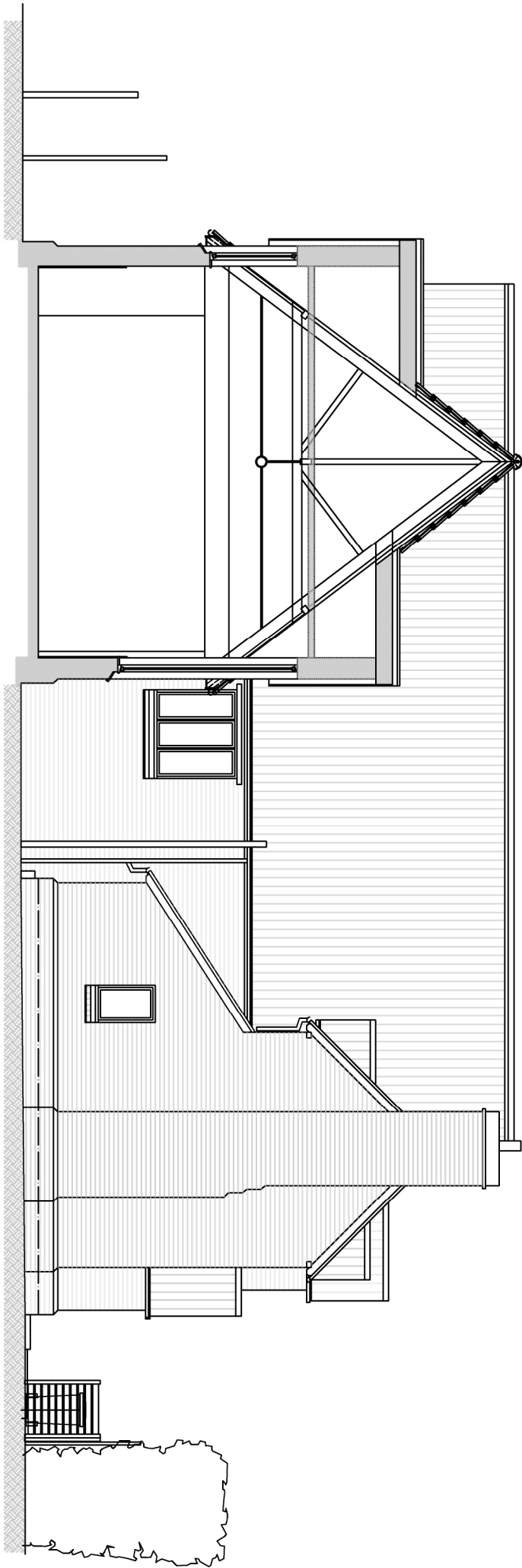
REDEVELOPMENT OF CHURCH HALL SITE,
 RAMSEY ROAD, ST. IVES, CAMBS

ELEVATIONS AS PROPOSED - 2

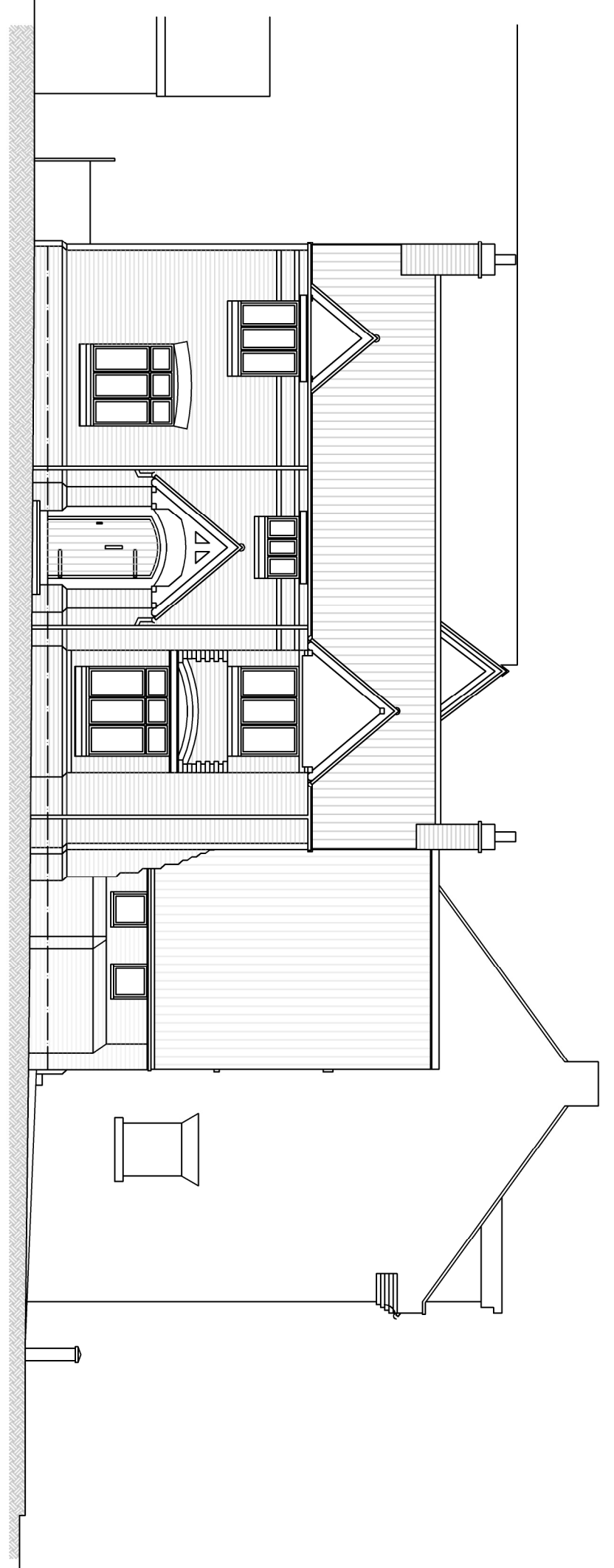
Date: Apr '23 Scale: 1:100
 1792 / 4 / 10

Scale (m) 0 5 10

SECTIONAL REAR (WEST) ELEVATION TO INTERNAL YARD



SIDE (NORTH) ELEVATION TO FRONTAGE OF "OLD SCHOOL HOUSE" No. 4b



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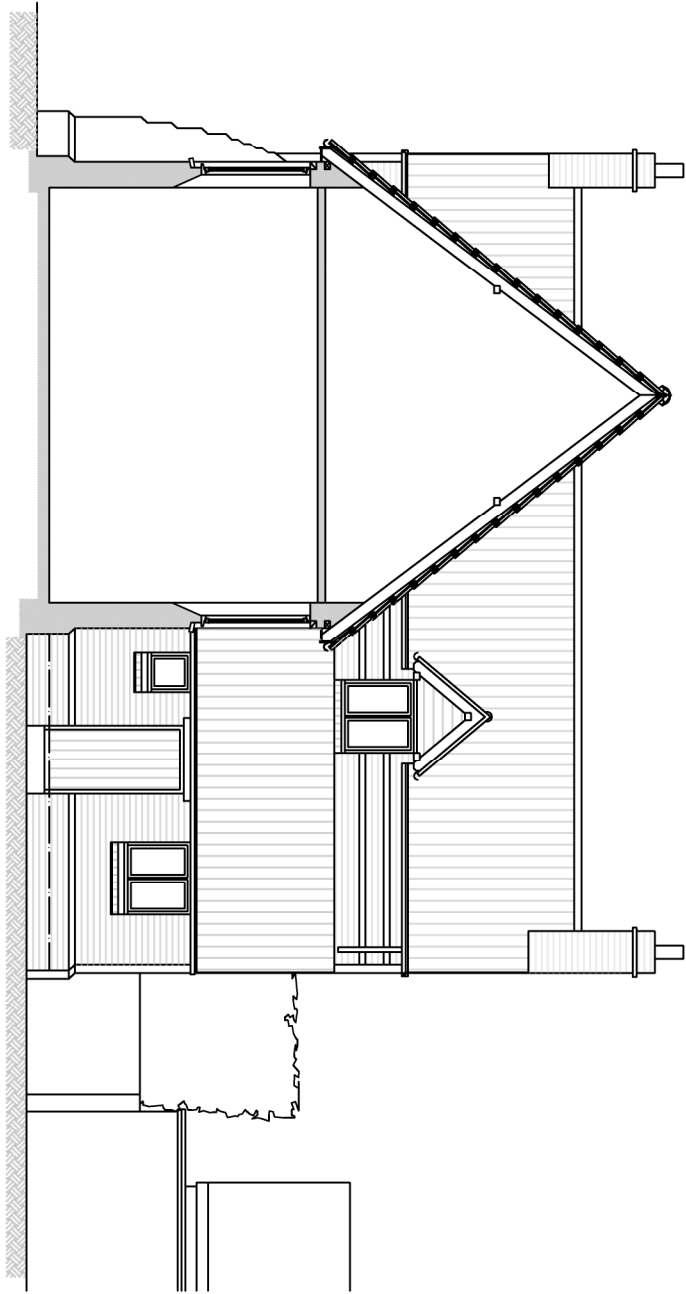
REDEVELOPMENT OF CHURCH HALL SITE,
 RAMSEY ROAD, ST. IYES, CAMBS

ELEVATIONS AS PROPOSED - 3

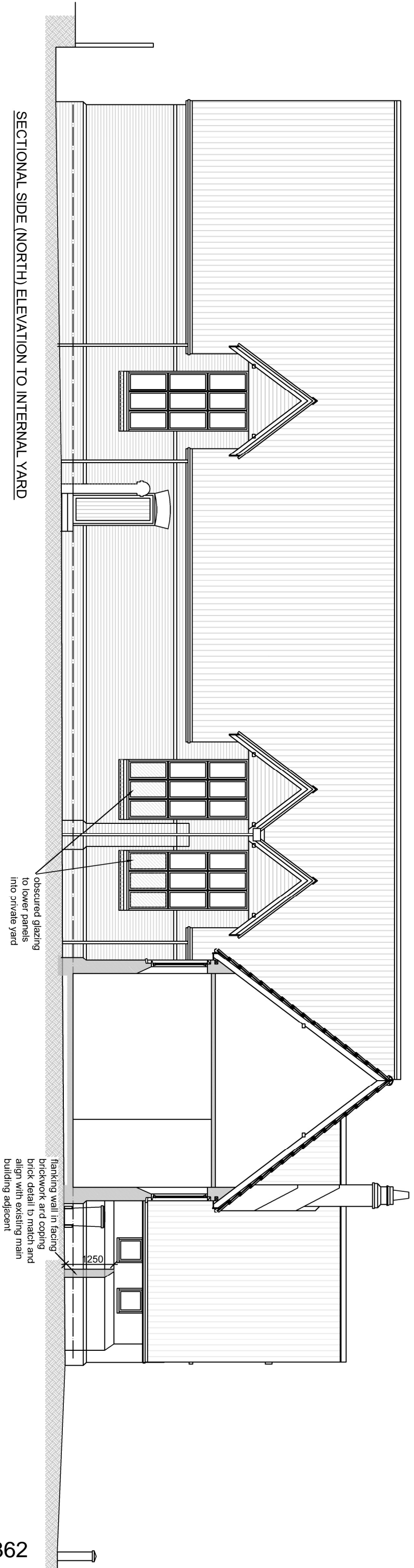
Date: Apr '23 Scale: 1:100
 Size: A3
 1792 / 4 / 11



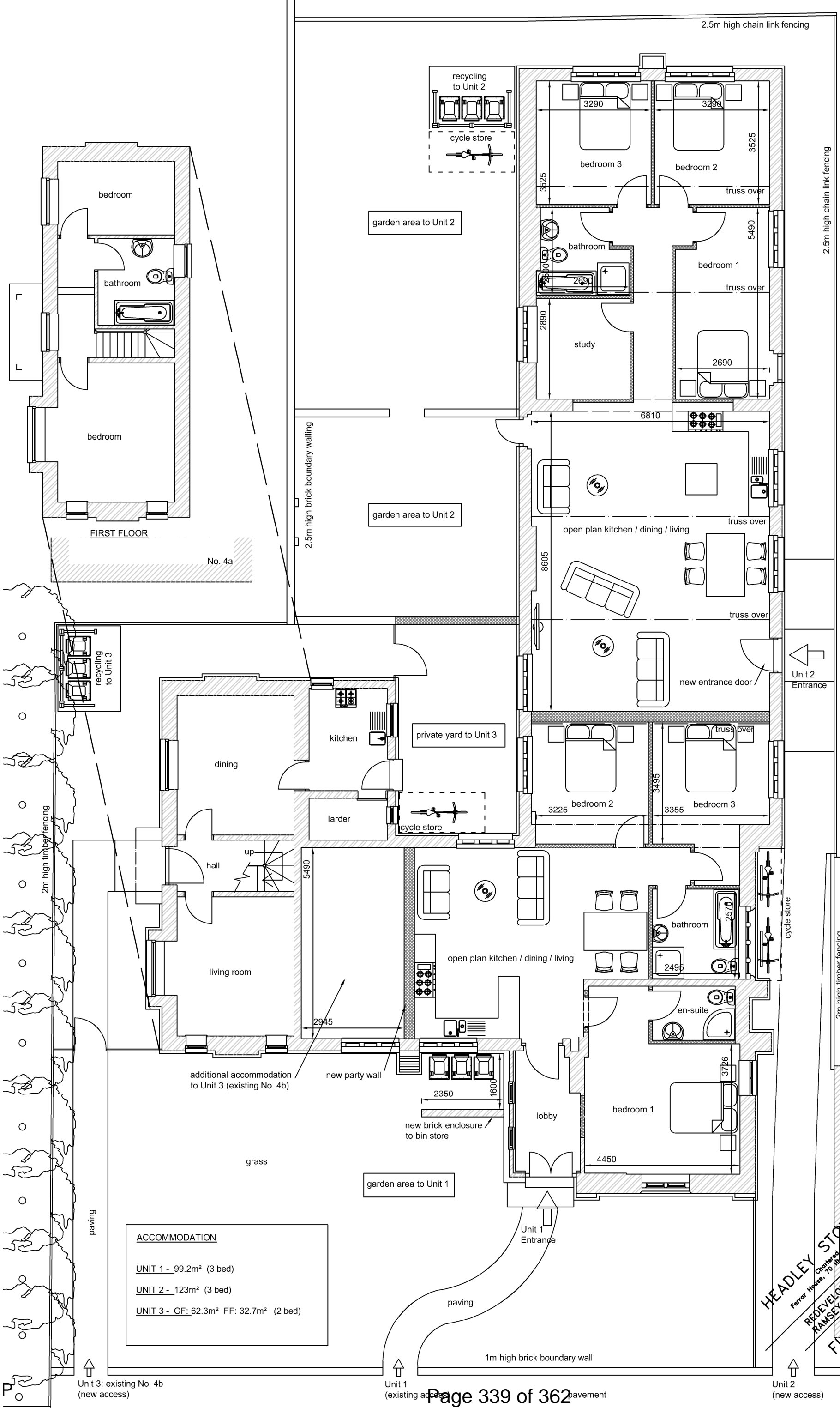
SECTIONAL REAR (SOUTH) ELEVATION TO INTERNAL YARD TO "OLD SCHOOL HOUSE" No. 4b



SECTIONAL SIDE (NORTH) ELEVATION TO INTERNAL YARD



HEADLEY STOKES ASSOCIATES
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 REDEVELOPMENT OF CHURCH HALL SITE,
 RAMSEY ROAD, ST. IYES, CAMBS
 ELEVATIONS AS PROPOSED - 4
 Date: Apr '23 Scale: 1:100
 Size: A3
 1792 / 4 / 12



ACCOMMODATION	
UNIT 1 -	99.2m ² (3 bed)
UNIT 2 -	123m ² (3 bed)
UNIT 3 - GF:	62.3m ² FF: 32.7m ² (2 bed)

HEADLEY STOKES ASSOCIATES
 Chartered Architects and Project Managers
 Ferrar House, 70 High Street, Huntingdon, Cambs., PE29 3PL
 Telephone 01455 48557

**REDEVELOPMENT OF CHURCH HALL SITE,
 RAMSEY ROAD, ST. IVES, CAMBS**

FLOOR PLANS AS PROPOSED

Date: Apr '23 Scale: 1:100
 Size: A3
 1792 / 4 / 08

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DEVELOPMENT MANAGEMENT COMMITTEE 22nd April 2024

Case No: 24/00242/FUL

Proposal: Garage conversion to Create Beauty Salon (Change of Use) and associated retrospective external works.

Location: 36 Shackleton Way, Yaxley, PE7 3AB

Applicant: Victoria Palmer

Grid Ref: (E) 517570 (N) 292164

Date of Registration: 15th February 2024

Parish: Yaxley

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC) in accordance with the Scheme of Delegation as the Officer recommendation of approval is contrary to that of the Parish Council.

1. DESCRIPTION OF SITE AND APPLICATION
 - 1.1 36 Shackleton Way is a relatively modern two-storey detached dwellinghouse located within a residential area of Yaxley. The site is within Flood Zone 1 as per the most recent Environment Agency Flood Risk Maps and Data and there are no other constraints related to it.
 - 1.2 To the north of the dwelling is a single storey pitched roof garage which is set back from the rear elevation of the dwelling and is adjoined to the single garage serving the neighbouring property (number 34 Shackleton Way). Access is by means of a tarmacked/block paved driveway from the main section of the highway with the left hand side serving the application site and right hand serving number 34. The sections of driveway are not separated by boundary treatments and the delineation of each appears to be natural and indicated by the termination of each section of garage.
 - 1.3 This application seeks permission to change the use of the garage to a Beauty Salon. It is noted that a change has been made to the exterior of the building (the door had been changed to a glass sliding door at the time a visit was completed but it is unclear when this work was undertaken). As this is the case the description of the development has been amended (at the

agreement of the agent) to reflect the external changes as well as the change of use. Given that these were shown on the plans which have been published and consulted upon, and the fact that this is the only external change to the building (albeit shown on the existing elevations), on the balance of fairness, further public consultation was considered not to be necessary on this occasion.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the three objectives – economic, social and environmental – of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: ‘So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).’
- 2.2 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP1: Amount of Development
 - LP2: Strategy for Development
 - LP4: Contributing to Infrastructure Delivery
 - LP5: Flood Risk
 - LP6: Waste Water Management
 - LP8: Key Service Centres
 - LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity
 - LP16: Sustainable Travel
 - LP17: Parking Provision and Vehicle Movement
 - LP22: Local Services and Community Facilities
 - LP30: Biodiversity and Geodiversity

3.2 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Design Guide Supplementary Planning Document 2017
- Huntingdonshire Landscape and Townscape SPD (2022)
- Huntingdonshire Strategic Flood Risk Assessment (2017)
- Cambridgeshire Flood and Water SPD 2017
- LDF Developer Contributions SPD (2011)
- Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)

The National Design Guide (2021)

- C1 - Understand and relate well to the site, its local and wider context
- I1 - Respond to existing local character and identity
- I2 - Well-designed, high quality and attractive
- B2 - Appropriate building types and forms
- M3 - Well-considered parking, servicing and utilities infrastructure for all users
- N3 - Support rich and varied biodiversity
- H1 - Healthy, comfortable and safe internal and external environment

Local For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

- 4.1 0202398FUL – Erection of 161 dwellings, garaging, estate and access roads with provision of landscaping and public open space (Permission)

5. CONSULTATIONS

- 5.1 Yaxley Parish Council recommend refusal: “The Parish Council cannot support this application on grounds of its impact on access, parking and road safety on a privately owned, narrow cul-de-sac with no public footpath. Being a quiet residential area, this proposed beauty salon would have an impact on community life for the whole cul-de-sac, especially the neighbouring property which shares its driveway and owns the adjoining garage. There is no mention in the application on the existing covenant on the property not to carry out any trade business or profession from the address, nor the fact that the applicant has been operating a hairdressers from a room in the house since September 2023 and that the proposed work would require a party wall notice.

Officer comments: Matters relating to the Party Wall Act and restrictive covenants cannot be addressed via the Planning System. These are civil matters which would need to be

addressed with the relevant parties and by the applicant. A response to comments has been provided by the applicant and this acknowledges these issues. It is acknowledged that there is an assertion that clients have been visiting the applicant's property prior to this application but this is not a matter for consideration under this submission and the requirement for planning permission for this would be a matter of fact and degree as to if any material change of use had occurred (thereby creating a breach). Such matters can be addressed through the Council's Planning Enforcement Team should it be considered that a breach has occurred. The matters raised which are material planning considerations shall be discussed in the proceeding sections of this report.

- 5.2 Cambridgeshire County Council Highways Team –No objections – further details in the proceeding sections of this report.
- 5.3 HDC Environmental Health – No objections.

6. REPRESENTATIONS

6.1 37 Comments have been received in total. Of these, two are a response from the applicant (aside from the separate rebuttal via the agent). These naturally support the application and whilst points raised have been considered, for probity reasons they have not been included in the overall number of responses. Therefore, of the 35 remaining there were ten objections (these originate from seven different properties and provide additional context) and 25 in support (this time from 23 different properties). These are available to view in full on HDC's Public Access Site but broadly relate to the following matters:

6.2 Objections:

*Issues with parking, increased traffic, carbon emissions and potential problems with emergency vehicle access which would increase due to customers and staff and affect the enjoyment of the area by those who live there and use it.

*Parking taking place on green space causing safety issues.

*Concerns that the volume of visitors cannot be controlled or monitored.

*Too many issues to offer support and consider more appropriate locations for development with commercial/retail units available.

*Local residents were not notified of the change in advance and suggestion that it wasn't publicised on purpose.

*Concerns that Great Crested Newts (from the water body on the green space opposite the site) would be harmed.

*Increased harm on visual amenity as a result of vehicles parking on the green space.

*Concerns that misleading information has been provided with regard to the anticipated number of visitors due to space available in the salon and that the description as a beauty salon is incorrect. Further suggestion that the times of operation is misleading as is the description of the building in question and additional works are proposed which do not form part of the application (roller shutter for example).

*Works have already been completed (referencing the door).

*Access to the salon would be impacted by vehicles parked on the drive.

*Other businesses operating within the street do not attract visitors or those that do are not there for extended periods. These properties may or may not be affected by the restrictive covenant (referred to in the preceding sections of this report).

*Concerns that comments have been received from people not local to the area.

*There would be a general detrimental impact on the area.

*Impact on property values and future sale of properties.

*Economic concerns and lack of demonstration of need for business of this type in this location. Concern that this could have wider impacts on town-centre footfall by a business being run from home.

*Impact on mental health and wellbeing of neighbours and no measures within the proposal to mitigate issues with noise, odour, fire safety or danger to life and increased insurance premiums.

*Failure to consider the Party Wall Act.

*Suggestion that a salon is already being operated from within the dwelling.

Officer comments: Those matters which are material considerations will be addressed in the proceeding sections of this report. As indicated above, some matters are not material planning considerations and the Local Planning Authority (LPA) cannot consider in the determination of this application:

*Party Wall matters.

*Increased insurance premiums.

- *Property value or re-sale options.
- *Potential breaches of planning control unrelated to scheme.
- *The origin of comments received.
- *Restrictive covenants.
- *Location of proposal (see below)

Whilst the suitability of development in an area will be considered (and each application is assessed upon its own merits) it is not the role of the LPA to direct development to other areas (unless there are material planning reasons to do so or the location is specified as part of Local or National Planning Policy). Therefore, if an application accords with these Policies and is appropriate when assessed against all other material considerations the LPA cannot justifiably refuse an application simply due to the fact that it would be 'preferable' for it to be located elsewhere.

Officers also note that there is a suggestion that neighbours were not notified of the proposals. In this case there was no requirement for the LPA to display a site notice and the LPA has exercised its duties in notifying neighbours abutting the application site in writing and in excess of 21 days has been allowed between the notification and the preparation of this report. Whilst it is advisable for an applicant to discuss a potential scheme with neighbours in advance it is not a requirement for this to be undertaken. Any other works not forming part of this application would need to be addressed under a separate submission.

6.3 Support:

- *Community engagement and support with the business engaging the local area and wider communities and allowing social interaction.

- *Allow for the continuation of a local business to meet residents needs which the Council should support and encourage.

- *Access to services will remain for vulnerable members of the community and within walking distance for some.

- *Reduced carbon emissions due to the local nature of the business with some walking/sharing vehicles.

- *There are other businesses registered locally and many other green spaces in the area (in response to concerns regarding parking/increased vehicle movements). And these increased movements would not differ from a resident having visitors to their property. No evidence that cars are parking on the grass or churning it up.

- *Does not consider that there are any noise pollution concerns as a result of the proposal nor will the small increase in footfall

result in harm in terms of parking and vehicle movements. There is room to park on the driveway. Understand cause for concerns if more staff or clients proposed but this isn't the case.

*This establishment will support increased demand for such services due to the expansion of the area.

*Young entrepreneurs required for villages to allow them to thrive in the future and the village needs more affordable local businesses with applicant a respected member of the community.

*Suggestions that comments made in objections are biased and inaccurate and unsure why there are any issues. Also suggest that some matters raised are not pertinent to the matters for consideration.

*No structural alterations needed to accommodate development and given its location it will not be noticeable to any residents.

*Misinterpretation in objections to the need for a Party Wall Agreement.

Officer comments: Again, the matters discussed above shall be addressed in the proceeding sections of this report. No further reference will be made to the Party Wall Act as this is not a planning matter. It is noted that there are concerns about the validity of some matters raised in the objections but as stated, anyone may comment on a planning application and all matters (which are material considerations) are taken into account. One of the supporting comments also raised a query to the Parish Council regarding dog walking on the green space opposite the site but this is not a matter to be addressed as part of this report.

- 6.4 As referenced above, the applicant has also provided additional comments (again available to view on the file) as well as a formal response to some of the objections raised. These responses shall be considered in the assessment of the application.

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and

to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2023). The development plan is defined in Section 38(3)(b) of the 2004 Act as “the development plan documents (taken as a whole) that have been adopted or approved in that area”.

- 7.3 In Huntingdonshire the Development Plan consists of a number of adopted neighbourhood plans, however, there is not an adopted neighbourhood plan in place for Yaxley. Therefore, in this case no neighbourhood plans are given weight in the determination of this application.
- 7.4 The statutory term ‘material considerations’ has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.5 The main issues to consider in the determination of this application are:
- The principle of development
 - Design and visual amenity
 - Residential amenity
 - Highway safety and parking provision
 - Flood risk and surface water
 - Biodiversity

The principle of the development

- 7.6 The site is located within the built-up area of Yaxley which is identified as a Key Service Centre under Policy LP8 of the Huntingdonshire Local Plan to 2036. Policy LP8 defines these as ‘large villages outside of spatial planning areas that offer a range of services and facilities to meet the needs of residents and to some extent the residents of other villages nearby’. LP8 goes on to state that ‘these villages are capable of accommodating some development sustainably due to the level of services, facilities and infrastructure they contain and that further sustainable development within them can contribute to the social and economic sustainability of these settlements thereby supporting a thriving rural economy’.
- 7.7 Further to the above, Policy LP22 of the Huntingdonshire Local Plan to 2036 (Local Services and Community Facilities) states (amongst other matters) that ‘a proposal for a new local service

or community facility within a built-up area will be supported where:

*It is of a scale to serve local needs;

*Comprises up to a maximum of 600m² net internal floorspace for a main town centre use; and

*provides for a new service or facility or it retains and enhances an existing service or facility, including through the provision of premises suitable for mixed use or community functions’.

Whilst in this case, given the limited scale of the proposed scheme Policy LP22 is not wholly relevant, in this case it does offer a new or enhanced local facility within a Key Service Centre which must be considered to support both the social and economic needs of the village thereby supporting a thriving rural economy in accordance with Policy LP8 of the Huntingdonshire Local Plan to 2036.

7.8 It should also be noted that the National Planning Policy Framework (NPPF) 2023 at paragraph 85 states (amongst other matters) that ‘Planning policies and decisions should help create the conditions in which businesses can invest, expand and adapt. Significant weight should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development’. With paragraph 88 (a) stating ‘planning policies and decisions should enable: a) the sustainable growth and expansion of all types of business in rural areas, both through conversion of existing buildings and well-designed, beautiful new buildings’.

7.9 In this case, whilst the objections raise concerns about the potential for this business reducing footfall within town centres, the development relates to the change of use of a small residential garage within a built-up area of a Key Service Centre which is supported in the Local Plan and the NPPF. The applicant has stated that attempts to secure other premises have failed. This change will support the longer term viability of the applicants business and (as addressed above) will support the Key Service Centre in its economic viability. Therefore, having regard to the requirements of the Huntingdonshire Local Plan to 2036 and the NPPF (2023) it is considered that the proposed change of use is acceptable in principle subject to compliance with other relevant policies and considerations.

Design and Visual Amenity

7.10 Shackleton Way is a relatively recent (having been constructed in the past 20 years or so) residential housing area in Yaxley. It is accessed via Scott Drive with the application site to the western section of Shackleton Way with

the dwellings to the east on the opposite side of a central green space. The site has the character of a modern housing development and hosts dwellings of varying scale, design and material finish. It cannot be considered that there is a uniform style of development. Many of the dwellings have garages which are either integrated or detached units set back from the principal elevation and attached to the neighbouring garage. There are examples of some which have been converted over time with windows in place of the original garage doors.

7.11 Number 36 is located off of the main section of Shackleton Way on a block paved section of road which appears to be private (and this is indicated in some of the comments). It is a detached two-storey dwelling with a pitched roof (side gabled) garage to its north. Whilst the garage is a detached unit, the right hand garage is owned by the occupier of number 34 Shackleton Way. In terms of visual appearance, the only change (retrospective) is the addition of the glazed sliding door to the front elevation. There are no proposed changes to the scale of the building and the remaining changes (to facilitate the conversion) are all internal and therefore do not require planning permission. Given the previously referred to variance and conversions in the area it cannot be considered that the external changes have caused visual harm to the area (particularly given its location set back in the plot) and any minor increase in vehicle movements or parking would not be out of character or cause significant visual harm.

7.12 In considering the wider impact on the character of the area as a result of the use, the LPA is required to consider if the change will result in such a degree of intensification that the residential nature would be altered. The application is accompanied by a Design and Access Statement which details that the hours of operation shall be 10am to 6pm Wednesday to Friday and 10am to 2pm on a Saturday with none on Sunday and Bank Holidays. This does differ from those shown on the application form (which states Monday to Friday 10am to 6pm), however, given that the Design and Access Statement states this and this is the documents which has been consulted upon, these are the hours that shall be conditioned in the event that Members vote to support the recommendation of approval. Further (and as is referenced in the comments from the applicant), the salon would operate on a 'one in and one out' basis and no 'walk-in' appointments and a maximum of five clients per day. There will also be a 20 minute gap between appointments to reduce the risk of any overlap and thus minimise the footfall in the area. Further, the only staff member will be the applicant (who lives on site). It should be noted that HDC's Environmental Health Team have been consulted and have raised no objections to the proposals.

- 7.13 Therefore, having regard to the above, whilst the concerns in the objections are noted, on balance it cannot be considered that the above volumes would result in such a degree of intensification of the area that it would cause harm to the residential character, or be significantly different to an occupant hosting friends or family. It therefore considered to be in accordance with Policies LP11 and LP12 of the Local Plan to 2036 in this regard.

Residential Amenity

- 7.14 Policy LP14 of the Local Plan to 2036 states that “a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.” In this case many of the objections relate to concerns on the potential impact on the residential amenity of neighbours due to increased noise and disturbance as a result of a commercial enterprise being undertaken. It is acknowledged that reference is made in some of the comments regarding other business which either do or have been operating in the area but, given that the LPA does not have in-depth knowledge of these nor the resultant footfall (if any) these have not been used as a comparison and this application is assessed upon its own merits. The changes to the building (insertion of a door) given its location and the fact that it looks towards areas already publicly visible do not result in privacy issues.

- 7.15 One particular concern was that the footfall and client numbers stated were misleading as well as the description of the use as a beauty salon. In this case, whilst the comments in support indicate that the main use will be hairdressing it is not considered that the description as a beauty salon is incorrect and the main focus in making this decision is any potential increased footfall or disturbance as a result of the use. It is not considered that in this respect a hairdresser or beauty salon would be carrying out activities which would vary significantly such to cause increased harm or require it to be assessed differently. As referenced above, the applicant has stated their hours and days/times of operation. These are considered acceptable and will not result in increased footfall or disturbance outside of normal working hours. These hours shall be recommended to be conditioned if Members are minded to approve the proposal and any breach would leave the applicant exposed to action from the Planning Enforcement Team. If the applicant wishes to amend this condition at a later date, then a formal application to the LPA

would be required and would be subject to further public consultation.

- 7.16 In considering impacts of the operation of the salon, it is not considered that the type of equipment typically used in such establishments would result in noise, disturbance or increased odour. This is particularly so when the hours of operation are considered as well as activities which could be undertaken in a residential setting without the need for planning permission. E.g., a homeowner would be undertaking hair washing, use of hair dryers and so on. Nor is it considered that the increased footfall would result in significantly increased carbon emissions. As above, HDC's Environmental Health Team have been consulted and raise no objections.
- 7.17 It is noted that there are concerns on the potential impacts on wellbeing and mental health as a result of the proposal. Whilst this is acknowledged, as detailed above, on balance it cannot be reasonably concluded that factors arising from this use would result in such significant impacts that a refusal of the application would be justified. Further, matters regarding concerns of danger to life and fire risk are not considered to be matters which can be given significant weight in this determination. Whilst it is noted that the garage will be 'habitable' in its present form it could house a motor vehicle or several motorcycles and potentially be used for the storage of volatile materials such as fuel and oil. Therefore, the risk of such occurrences is likely to be neutral (if not lower).
- 7.18 Overall therefore, taking all of the above matters into consideration the development is therefore considered to be acceptable in terms of residential amenity and accords with Policy LP14 of the Local Plan to 2036 in this regard.

Parking Provision and Highway Safety

- 7.19 The application form details that there will be one employee (the applicant lives on site and she will be the only person working there and this is what this refers to which is confirmed in the Design and Access Statement). Matters relating to the control of clients to the business are detailed in the preceding sections of this report but broadly speaking there should only be one vehicle (from a client visiting the site) at any one time. It may of course be that some people who live locally will travel by sustainable travel methods and therefore not require parking. However, notwithstanding the above, in the event that someone does visit in a car then there is space on the driveway for at least two vehicles to park. (There is 12.7 metres from the front of the garage to the boundary of the site). At the time a site visit was carried out there was one car on the driveway and still access to the building via the sliding doors. The neighbouring dwelling (which shares the other half garage and the driveway)

had two vehicles parked on their section and there was still ample space for manoeuvrability.

- 7.20 It is acknowledged that the conversion of the garage will result in the loss of some parking provision at the property (though of course there is no guarantee that this is presently being used for parking). In practice, there may be occasions where parking on the highway takes place but the volume of visitors caused by this use (having regard to conditions) cannot be considered to cause significant harm. There are demarcated footways directly to the front and opposite the property and space to park on the road if required. There is no reason to consider that this would result in vehicles parking on the green space nor that the minor increase in visitors to the area would be significantly different to visitors, deliveries, general comings and goings from residents etc.
- 7.21 It is noted that there is concern that emergency vehicles may experience difficulties in access due to parking. As detailed above, in the event that this does happen it is considered that the road has been designed in such a way that emergency vehicles would be able to access in the event that someone had parked on the road. Whilst it is acknowledged that larger vehicles may present more of an obstruction, whilst encroachment on to the grassed area is not in any way encouraged it should be recognised that in an emergency any such vehicle would take any steps required in order to access. With no built development opposite there is nothing preventing this from taking place if needed.
- 7.22 Cambridgeshire County Council CCC as the Local Highways Authority have been consulted on the application and raise no objections stating that "Regarding the garage conversion from garage to salon. The Design and Access statement indicates that the salon will operate between 10am to 6pm on a booking system with a 1 in and 1 out system. With a 20 minute gap between appointments. Only 1 employee is indicated, this being the applicant. It goes on to indicate there would be 4-5 customers per day. Given this level of traffic generation this could not be considered as significant.

Although it indicates that there are two off street parking spaces it does not specify that these will be available for customers, obviously, this is dependent on the existing number of vehicles at the property and whether these will be vacant during the proposed times of operation. Given the above I could have no objection to that proposed with regards to traffic generation.

With regards to any possible parking on street and the removal of the garage this will need to be assessed by the Local Planning Authority in relation to existing public amenity and availability of parking provision.

Following a careful review of the documents provided to the Highway Authority as part of the above planning application, no significant adverse effect upon the Public Highway should result from this proposal, should it gain benefit of Planning Permission.”

- 7.23 Overall, having regard to the location which would allow for clients to access the service via sustainable travel methods, the above assessment on the level of parking provision and controls which can be put in place via condition and the favourable comments from CCC as specialists, the proposed development is considered to be acceptable with regard to parking provision and would not be significantly detrimental to highway safety in the locality. It therefore broadly accords with Policies LP16 and LP17 of the Huntingdonshire Local Plan to 2036 in this regard.

Biodiversity

- 7.24 Policy LP30 of the Local Plan to 2036 states that “a proposal will ensure no net loss in biodiversity and achieve a net gain where possible.”
- 7.25 In this case, the wording of the policy ‘where possible’ is considered to be relevant. The proposal does not result in any increase in footprint and relates to a domestic garage on a maintained residential site. The garage is not an old building and appears to be in good repair. Its value in terms of biodiversity is considered to be low and so the conversion is considered to have a neutral impact on the overall value of the site. The nature of the development also provides limited scope for providing a net gain.
- 7.26 It is noted that there are concerns about the possibility of Great Crested Newts in the body of water within the green space to the front (which at the closest point is approx. 50 metres away). However, it cannot be reasonably considered that this development (with no increased footprint or ground disturbance) will cause harm and it would also not be justified to suggest that the level of increased visitors to the area have the potential to impact the population or habitats of Great Crested Newts when visitors to the area for other means (visiting friends, family, occupiers, deliveries and so on) are uncontrolled.
- 7.27 Having regard to the above the proposal is considered to be acceptable in terms of biodiversity impacts and broadly accords with Policy LP30 of the Huntingdonshire Local Plan to 2036.

Flood risk

- 7.28 The application site is within Flood Zone 1 and is therefore not subject to the Sequential or Exception Tests required by the NPPF (2023). Nor (given its scale) does it require the submission of a Flood Risk Assessment (FRA). The development does not increase the footprint of the building nor introduce any additional hard surfacing. Activities taking place within it are unlikely to place significant pressure on the established waste water system (having regard to activities which could already be undertaken in a residential setting).
- 7.29 The development is therefore considered to be acceptable with regard to its approach to flood risk and therefore accords with Policy LP5 of the Huntingdonshire Local Plan to 2036.

8. RECOMMENDATION – APPROVAL subject to conditions to include the following

- Time limit
- Accordance with approved plans
- Materials retained
- Hours of operation
- Client management, e.g. appointment only service, 20 min gap between appointments etc
- Business use only in association with occupiers of main property 36 Shackleton Way

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388424 and we will try to accommodate your needs

CONTACT OFFICER: Kevin Simpson
Enquiries kevin.simpson@huntingdonshire.gov.uk

From: [DevelopmentControl](#)
To: [DevelopmentControl](#)
Subject: Comments for Planning Application 24/00242/FUL
Date: 28 February 2024 13:12:56

Comments summary

Dear Sir/Madam,

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 28/02/2024 1:12 PM from [REDACTED].

Application Summary

Address:	36 Shackleton Way Yaxley Peterborough PE7 3AB
Proposal:	Garage conversion to create Beauty Salon (Change of Use)
Case Officer:	Kevin Simpson

[Click for further information](#)

Customer Details

Name:	[REDACTED]
Email:	clerk@yaxleypc.org.uk
Address:	Yaxley Parish Council, The Amenity Centre, Main Street, Yaxley pe7 3lu

Comments Details

Commenter Type:	Town or Parish Council
Stance:	Customer objects to the Planning Application

Reasons for comment:

Comments: The Parish Council cannot support this application on grounds of its impact on access, parking and road safety on a privately owned, narrow, cul de sac with no public footpath. Being a quiet residential area, this proposed beauty salon would have an impact on community life for the whole cul de sac, especially the neighbouring property which shares its driveway and owns the adjoining garage. There is no mention in the application of the existing covenant on the property not to carry out any trade business or profession from the address, nor the fact that the applicant has been operating a hairdressers from a room in the house since September 2023 and that the proposed work would require a party wall notice.

Kind regards

Development Management Committee



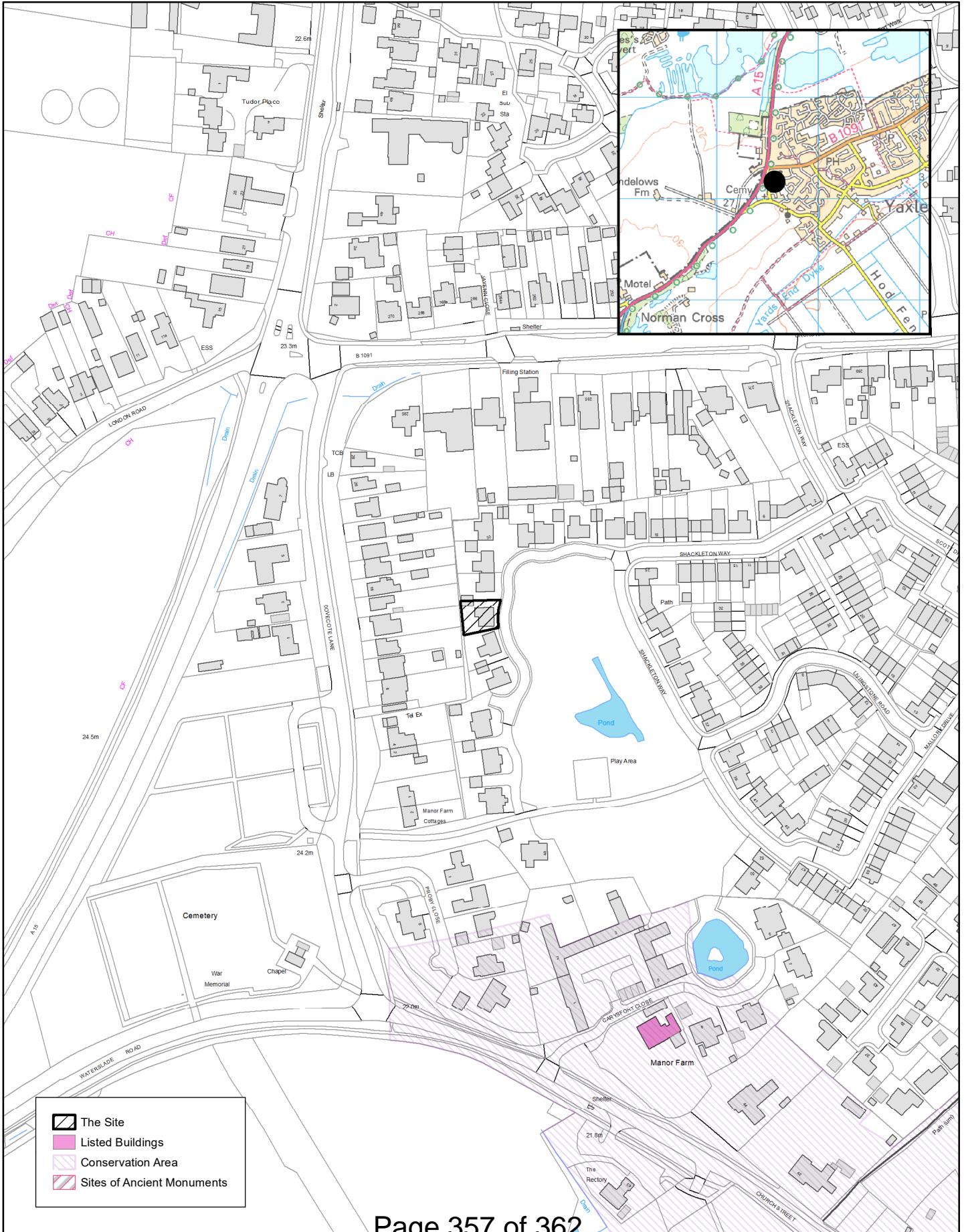
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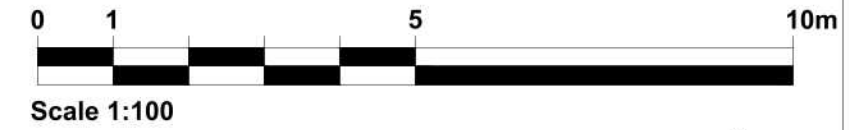
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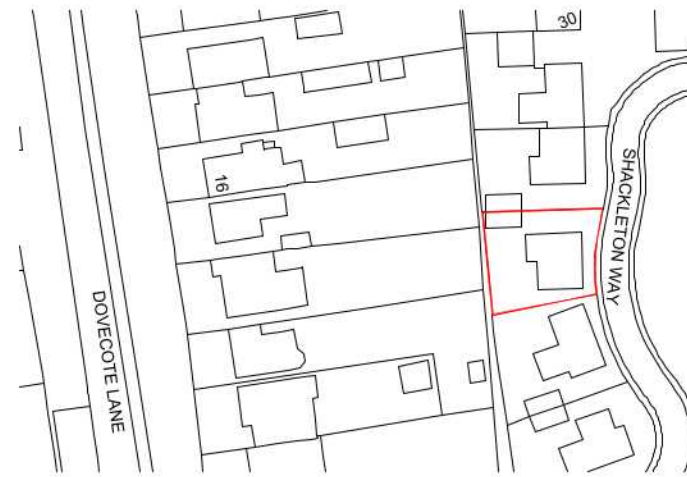
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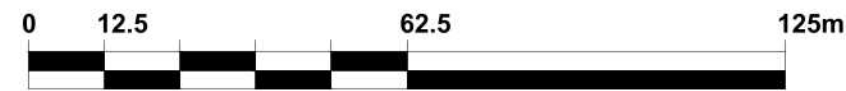




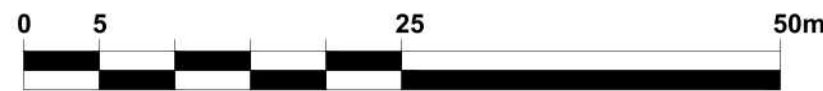
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LOCATION PLAN 1:1250



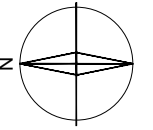
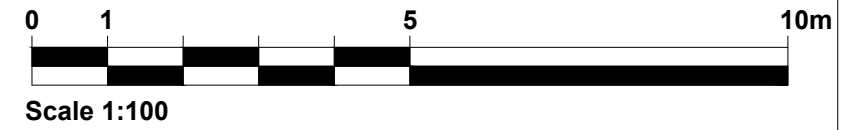
BLOCK PLAN 1:500



Existing site area: 252 sqm

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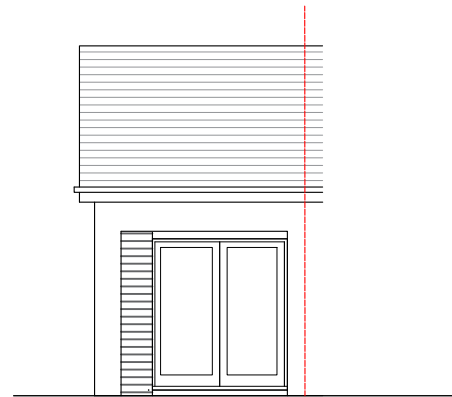
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Drawing Title: Location and Block Plan Parking plan				 PLANNING BY DESIGN FROM CONCEPT TO COMPLETION			
Project & Drawing Number: 24.36SW.P03							
Rev:	Scale:	Sheet size:	Date:				
-	1:100	A3	Jan 24	www.planning-by-design.co.uk hello@planning-by-design.co.uk			



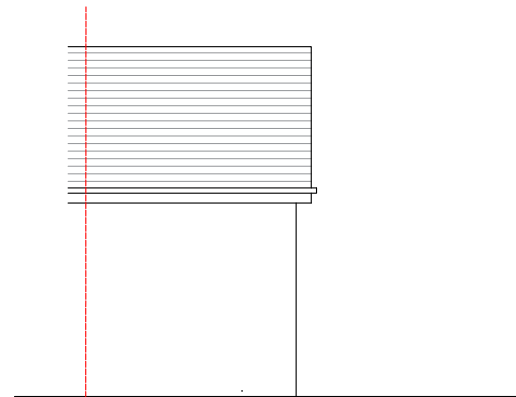
FLOOR PLAN



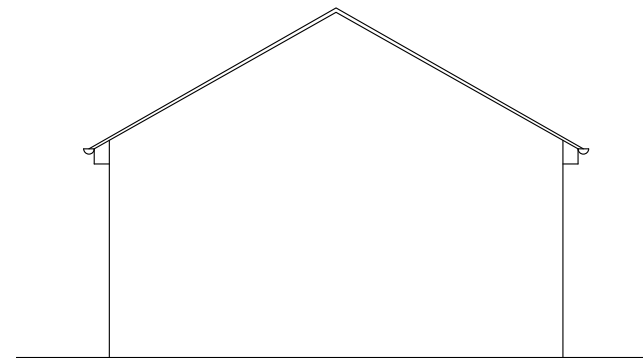
ROOF PLAN



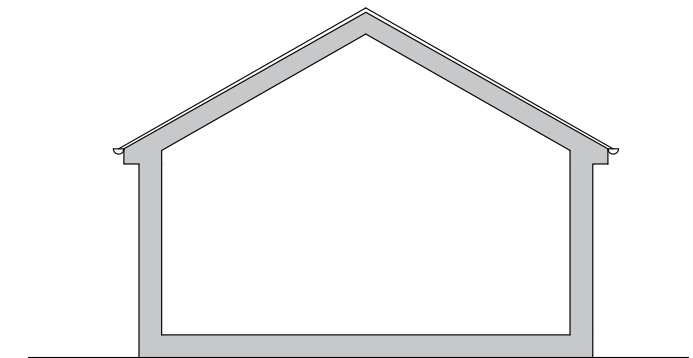
FRONT ELEVATION- NORTH WEST



REAR ELEVATION-NORTH EAST



SIDE ELEVATION-SOUTH



SIDE ELEVATION-NORTH

Existing gross internal area: 15.7 sqm
 Proposed gross internal area: 12.7 sqm
 Existing site area: 287 sqm

Planning

Drawing Title:
 Existing floor plans and elevations

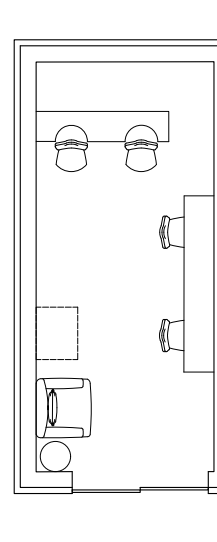
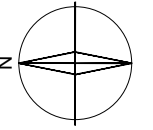
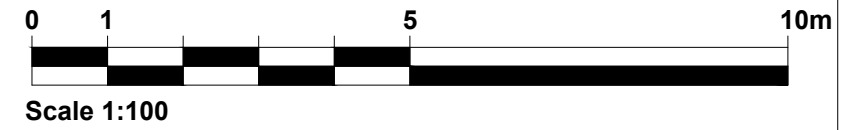
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 36 Shackleton Way,
 Yaxley PE7 3AB

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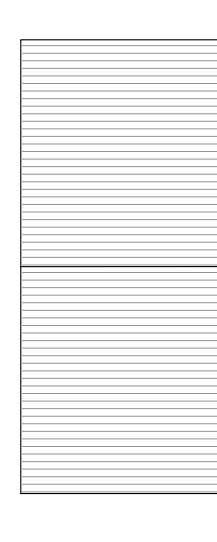
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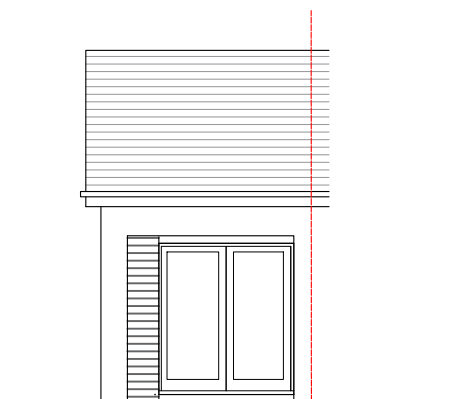
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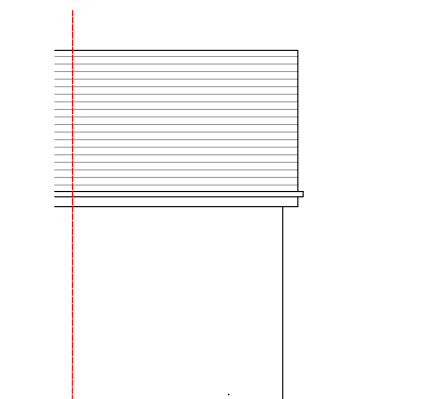
FLOOR PLAN



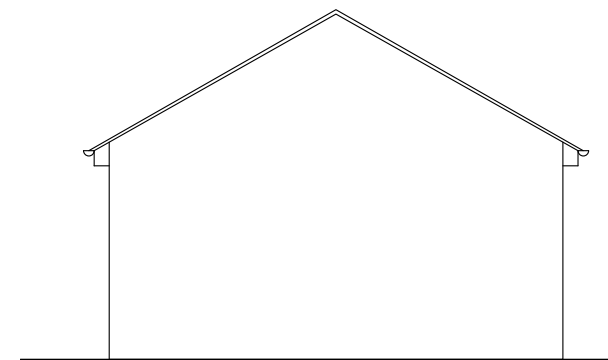
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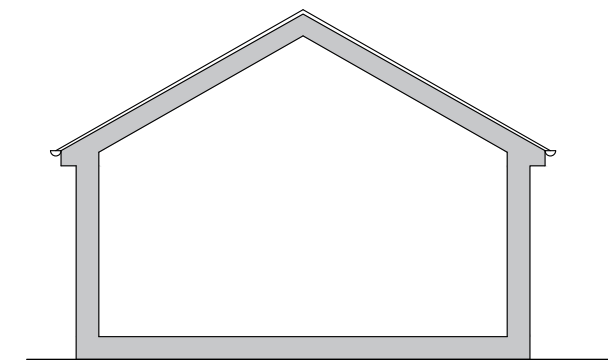
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REAR ELEVATION-NORTH EAST



SIDE ELEVATION-SOUTH



SIDE ELEVATION-NORTH

Planning

Drawing Title: Proposed floor plans and elevations

Project & Drawing Number:
24.36SW.P02

Rev: - Scale: 1:100 Sheet size: A3 Date: Jan 24

Site Address: Vicky Palmer
36 Shackleton Way,
Yaxley PE7 3AB



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Planning Appeal Decisions Since March 2024 Committee

Ref No	Appellant	Parish	Proposal	Site	Original Decision	Delegated or DMC	Appeal Determination	Costs
22/018 77/HH FUL	Mr Toby Chaplin	Godmanchester	Replacement windows to the front and side elevation	35 Post Street Godmanchester Huntingdon PE29 2AQ	Refused	Delegated	Appeal Dismissed	N/A
22/018 78/LB	Mr Toby Chaplin	Godmanchester	Replacement windows to the front and side elevation	35 Post Street Godmanchester Huntingdon PE29 2AQ	Refused	Delegated	Appeal Dismissed	N/A
23/015 11/HH FUL	Mr Paul Lumbis	St Neots	Proposed loft conversion.	90 Lannesbury Crescent St Neots PE19 6AF	Refused	Delegated	Appeal Dismissed	N/A
22/017 35/FU	Mr N Collett	Holme	Change of use and alteration of barn to form two dwellings	Agricultural Buildings Holme Lode Farm Holme Fen Holme	Refused	Delegated	Appeal Dismissed	N/A
22/015 36/FU L	Mr David Newman	Pidley-cum-Fenton	Change of use from restaurant to a dwelling house	Stroud Hill Park Fen Road Pidley Huntingdon PE28 3DE	Refused	Delegated	Appeal Dismissed	N/A
22/013 42/FU L	Mr & Mrs Noonan	St Neots	Demolition of existing outbuildings and erection of detached dwelling	5 Howitts Lane Eynesbury St Neots PE19 2JA	Refused	Delegated	Appeal Dismissed	N/A

20/004 69/FU L	Sir William Proby	Elton	For the erection of 3 dwellings and the conversion of a agricultural barn to 1 dwelling and improvements to existing field access from River Lane	Land at and Including 2 Stocks Green Elton	Refused	Delegated	Appeal Dismissed	N/A
21/006 51/OU T	Buckden Land Ltd	Buckden	Outline application, with details of access, for Business Park comprising Use Classes E, B2 and B8	Land Between Tin Lid and Station House Brampton Road Buckden	Non-Determination	Delegated	Appeal Dismissed	N/A
23/007 17/PIP	Mr And Mrs Pettit	Colne	Demolition of former piggery and storage barn and the construction of three dwellings	Ramadi Earith Road Colne Huntingdon PE28 3NL	Refused	Delegated	Appeal Dismissed	N/A